



**MARSHALLTOWN  
MORE THAN EVER**

**CITY OF MARSHALLTOWN  
BOARD OF ADJUSTMENT  
NOTICE OF PUBLIC MEETING  
CITY HALL COUNCIL CHAMBERS  
10 WEST STATE STREET  
JUNE 26, 2025, 5:00 PM**

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**AGENDA**

**CALL TO ORDER**

**ROLL CALL**

Mark Eton, Tammie Engle, Heidi Hogan, David Schulze, Kelli Thurston

**APPROVAL OF MEETING MINUTES**

1. Approval Of Meeting Minutes From April 15, 2025

**BUSINESS**

2. Consider Approval of a Special Use Permit Application for 3202 S 6th Street
3. Consider Approval of a Special Use Permit Application for 402 N 10<sup>th</sup> Avenue
4. Consider Approval of a Special Use Permit Application for 2500, 2502, and 2504 S Center Street

**ADJOURNMENT**

**MISSION STATEMENT**

The City of Marshalltown collaborates to provide a welcoming, safe, vibrant, and growing community.

## **Board of Adjustment**

Meeting Minutes – April 15<sup>th</sup>, 2025

Meeting was called to order at 5:00 PM in the City Council Chambers at 10 W. State Street

### **1. Roll Call:**

Present: Engle, Eaton, Thurston, & Schulze

Absent: Sanchez

### **2. APPROVAL OF MEETING MINUTES FROM FEBRUARY 18<sup>TH</sup>, 2024**

Motion to approve the February 18<sup>th</sup>, 2025 meeting minutes made by Schulze, seconded by Engle.

All ayes upon roll call. Motion Carried.

### **3. VARIANCE APPLICATION FOR 4 W Boone Street**

Clayton Ender, Assistant Director of Housing and Community Development, presented the staff report.

Motion by Schulze to approve the variance application for 4 W Boone Street, seconded by Engle.

Discussion of why, this block is zoned urban core instead of general commercial. Believed that the intention was for the CBD redevelopment & infill of the vacant lots to be 2 story.

Roll Call:

Engle – aye

Eaton – aye

Schulze – aye

Thurston - aye

All ayes upon roll call. Motion Carried.

### **4. PUBLIC HEARING: SPECIAL USE PERMIT FOR 212 KOEPER DRIVE**

Clayton Ender, Assistant Director of Housing and Community Development, presented the staff report.

Discussion that the property owner could do a 6ft fence if the property owner built at an 8ft set back from the property line, otherwise if right against where the property line is, the fence by ordinance could be 4ft without a variance. BOA wants to honor the work that P&Z did, and also not set a precedent for future applicants.

Applicant approached the podium: Discussed a possible pool in the future which would require a 5 ft. fence. Questioned why the code was changed in 2022. There is a sidewalk on the other side

of the street. A neighbor, Sally was present at meeting in support of the 6 ft. fence for safety. She would like to be able to mow around utility pole. Applicant believes with an 8ft set back doesn't allow them to use all of their property for their family's needs, it would leave empty grass area.

Eaton made a motion to table to the variance application until staff can clarify 6ft fence on an 8ft set back, Engle provided a second.

Roll Call:

Engle – Yay

Eaton – Yay

Schulze – Yay

Thurston - Yay

All ayes upon roll call. Motion Carried.

City will refund variance application fee, if staff made an error interpreting the code.

Meeting Adjourned at 6:00 PM

# MARSHALLTOWN

I O W A

HOUSING & COMMUNITY DEVELOPMENT

Deb Millizer, Director  
Clayton Ender, Assistant Director  
24 North Center Street  
Marshalltown, IA 50158-4911  
Tel - (641) 754-5756  
Fax - (641) 754-5717

**TO:** Board of Adjustment  
**FROM:** Clayton Ender, Assistant Housing & Community Development Director  
**DATE:** June 26<sup>th</sup>, 2025  
**RE:** Consider Approval of a Special Use Permit Application for 3202 S 6<sup>th</sup> St

<b>City Staff Contact:</b>	Clayton Ender, AICP Assistant Director of Housing and Community Development Phone: 641-754-5756 Email: cender@marshalltown-ia.gov
<b>Applicant:</b>	Centurytel Fiber Company II LLC ATTN: Property Tax (IA) 931 14 <sup>th</sup> St Denver CO 80202
<b>Property Owner:</b>	Centurytel Fiber Company II LLC ATTN: Property Tax (IA) 931 14 <sup>th</sup> St Denver CO 80202
<b>Recommendation:</b>	<p><b>The Planning and Zoning Commission recommends approval of the special use permit application for 3202 S 6<sup>th</sup> St subject to the following conditions:</b></p> <ol style="list-style-type: none"><li>1. <b>Prior to issuance of a building permit the following items shall be completed:</b><ol style="list-style-type: none"><li>a. Amend fencing proposal to document fence height and adjust height or location if needed to comply with the fence height and location regulations of the zoning code.</li><li>b. If any new or modified exterior site lighting is proposed it will need to be compliant with Article H of the Zoning Code.</li><li>c. Document compliance with development landscaping requirements of the zoning code.</li></ol></li></ol>

**CITY COUNCIL**

Melisa Fonseca, Barry Kell, Mike Ladehoff,  
Mark Mitchell, Greg Nichols, Jeff Schneider, Gary Thompson



<b>Current Zoning District &amp; Current Usage:</b>	<p>Current Zoning: GC, General Commercial Zoning District</p> <p>Current Usage: Major Utility, Telecommunications Facility</p>
<b>Proposed Zoning District &amp; Proposed Usage:</b>	<p>Zoning: GC, General Commercial Zoning District</p> <p>Proposed Usage: Major Utility, Telecommunications Facility</p>
<b>Review Criteria:</b>	<p>In determining whether to approve, approve with conditions, or deny a special use permit, the review bodies shall consider the following review criteria:</p> <ol style="list-style-type: none"> <li data-bbox="526 569 1487 678"> <p><b>1. The request complies with the applicable standards of this Zoning Ordinance, the City Code of Ordinances, and any applicable county, state, or federal requirements.</b></p> <p>The proposed site plan will need updated to document compliance with applicable city codes. See the recommendation section of this staff report for full list of items needing addressed.</p> </li> <li data-bbox="526 879 1487 989"> <p><b>2. The request substantially conforms to any associated prior approval for the development, including, but not limited to, a special use permit, Master Development Plan, or Site Plan.</b></p> <p>The proposed development does not conflict with any prior approvals.</p> </li> <li data-bbox="526 1106 1487 1140"> <p><b>3. The administrative body has considered the recommendation of staff.</b></p> <p>Staff recommends approval of the special use permit application as outlined in the recommendation section of this staff report.</p> </li> <li data-bbox="526 1299 1487 1493"> <p><b>4. The request is consistent with applicable policies of the Comprehensive Plan and applicable utility plans and capital improvements plans; or, if it addresses a topic that is not contained or not fully developed in the Comprehensive Plan, the request does not impair the implementation of the Comprehensive Plan.</b></p> <p>The comprehensive plan identifies the future land use designation for the development site as commercial.</p> <p>While utility is provided its own future land use category in the comprehensive plan, the use is allowed within the GC zoning district by special use permit. The facility expansion would not impair implementation of the comprehensive plan.</p> </li> </ol>

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5. **The request promotes the purposes of this Zoning Ordinance as established in § 156.A.002, Purposes, and in other applicable purpose statements in this chapter.**

§ 156.A.002(D)(1) “Encouraging the most appropriate, efficient, and compatible use of land, buildings, and other structures throughout the city;”

6. **Adequate facilities, including public or private utilities, solid waste service, roads, drainage, and other improvements are present or are planned to be provided.**

The subject property has adequate access to existing public streets, water, sanitary sewer, storm sewer and other utilities.

7. **The request demonstrates compatibility with surrounding conforming and permitted land uses and structures and with the general character of the area.**

Land uses to the north, east, south, and west include commercial zoning and land uses. The proposed facility expansion is compatible with all surrounding uses.

8. **The special use does not create an unwanted concentration of similar special uses that is likely to discourage permitted uses by making the vicinity less desirable for them.**

In the opinion of staff the proposed development will not discourage permitted uses in the area by making the area less desirable.

9. **There is no practicable alternative location where the use is permitted by right within the general vicinity of the parcel proposed for development, or, if such a location exists, the proposed location is comparable or more favorable in terms of:**

- **Providing a needed community service;**
- **Providing a critical mass of related and mutually supportive land uses that promote quality economic development and opportunity;**
- **Providing a balance of land uses, ensuring that appropriate supporting activities, such as employment, housing, leisure-time, and retail centers are in close proximity to one another; and**
- **Making more efficient use of public infrastructure.**

**CITY COUNCIL**

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While other sites in town exist, which may be more favorable to locate a major utility, this is an expansion on an existing utility facility. Additionally, this utility provides a needed community service in the form of telecommunications.

**Attachments:** Findings of Fact Report  
Aerial Vicinity Map  
Site Plan

**CITY COUNCIL**

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### Board of Adjustment Finding of Fact Report

<b>Meeting Date:</b> 6/26/2025	<b>Application Type:</b> MAJOR UTILITY & SECURITY FENCING WITH BARB WIRE
<b>Zoning District:</b> GC, GENERAL COMMERCIAL	<b>Comp. plan designation:</b> COMEMRCIAL
<b>Property Address:</b> 3202 S 6 <sup>TH</sup> STREET	
<b>Property Owner:</b> CENTURYTEL FIBER COMPANY II LLC ATTN: PROPERTY TAX (IA) 931 14 <sup>TH</sup> ST DENVER CO 80202	
<b>Applicant (if different than owner):</b> N/A	

#### Request Description

Centurytel Fiber Company II LLC has submitted a special use permit application for major utility expansion and security fencing with barb wire at 3202 S 6<sup>th</sup> Street, Marshalltown, IA, 50158. Expansion of a major utility use requires a special use permit and installation of barb wire associated with a major utility in a district other than the GI, General Industrial Zoning District requires a special use permit.

#### Plan Zoning Commission Recommendation

**The Planning and Zoning Commission met on June 12, 2025 and recommended approval of the special use permit application for 3202 S 6<sup>th</sup> Street subject to the following conditions:**

- 1. Prior to issuance of a building permit the following items shall be completed:**
  - a. Amend fencing proposal to document fence height and adjust height or location if needed to comply with the fence height and location regulations of the zoning code.
  - b. If any new or modified exterior site lighting is proposed it will need to be compliant with Article H of the Zoning Code.
  - c. Document compliance with development landscaping requirements of the zoning code.
  - d. Update landscaping plans to identify all required new plant materials.

New Information introduced for consideration

Findings of Fact (Answer yes or no to each item and provide reasoning if necessary)

YES	NO	Finding Description
		Does the Home Occupation Special Use requested comply with the listed criteria? <i>Reasoning:</i> Vote result if applicable: _____ Yes _____ No
		➤ Will there be exterior display (except allowable sign)? Vote result if applicable: _____ Yes _____ No
		➤ Will the building maintain residential design features? Vote result if applicable: _____ Yes _____ No
		➤ Will the residential character of the neighborhood be maintained? Vote result if applicable: _____ Yes _____ No
		➤ Is the proposed signage limited to one building mounted sign (1 s.f. max)? Vote result if applicable: _____ Yes _____ No
		➤ Will all equipment/merchandise be stored inside: Vote result if applicable: _____ Yes _____ No
		➤ Will there be employees? If yes are they residents of the home or is the Board granting approval? Vote result if applicable: _____ Yes _____ No
		➤ Is the traffic and parking need addressed so to not objectionable to neighbors? Is there adequate parking available on site? Vote result if applicable: _____ Yes _____ No
		➤ Structural modification or additions to the residence for expansion of the home occupation are prohibited, are there planned changes? Vote result if applicable: _____ Yes _____ No

Based on the Findings of Fact the following action occurred:

- Motion by \_\_\_\_\_ to APPROVE the request as submitted with the following conditions:

**1. Prior to issuance of a building permit the following items shall be completed:**

- a. Amend fencing proposal to document fence height and adjust height or location if needed to comply with the fence height and location regulations of the zoning code.
- b. If any new or modified exterior site lighting is proposed it will need to be compliant with Article H of the Zoning Code.
- c. Document compliance with development landscaping requirements of the zoning code and if new landscaping is necessary to be compliant with code then provide a landscaping plan to identify all required new plant materials.

Second by \_\_\_\_\_

Vote results:

Name:	YES	NO	Abstain	Comment
<i>EATON</i>				
<i>ENGLE</i>				
<i>HOGAN</i>				
<i>SCHULZE</i>				
<i>THURSTON</i>				

AERIAL VICINITY MAP



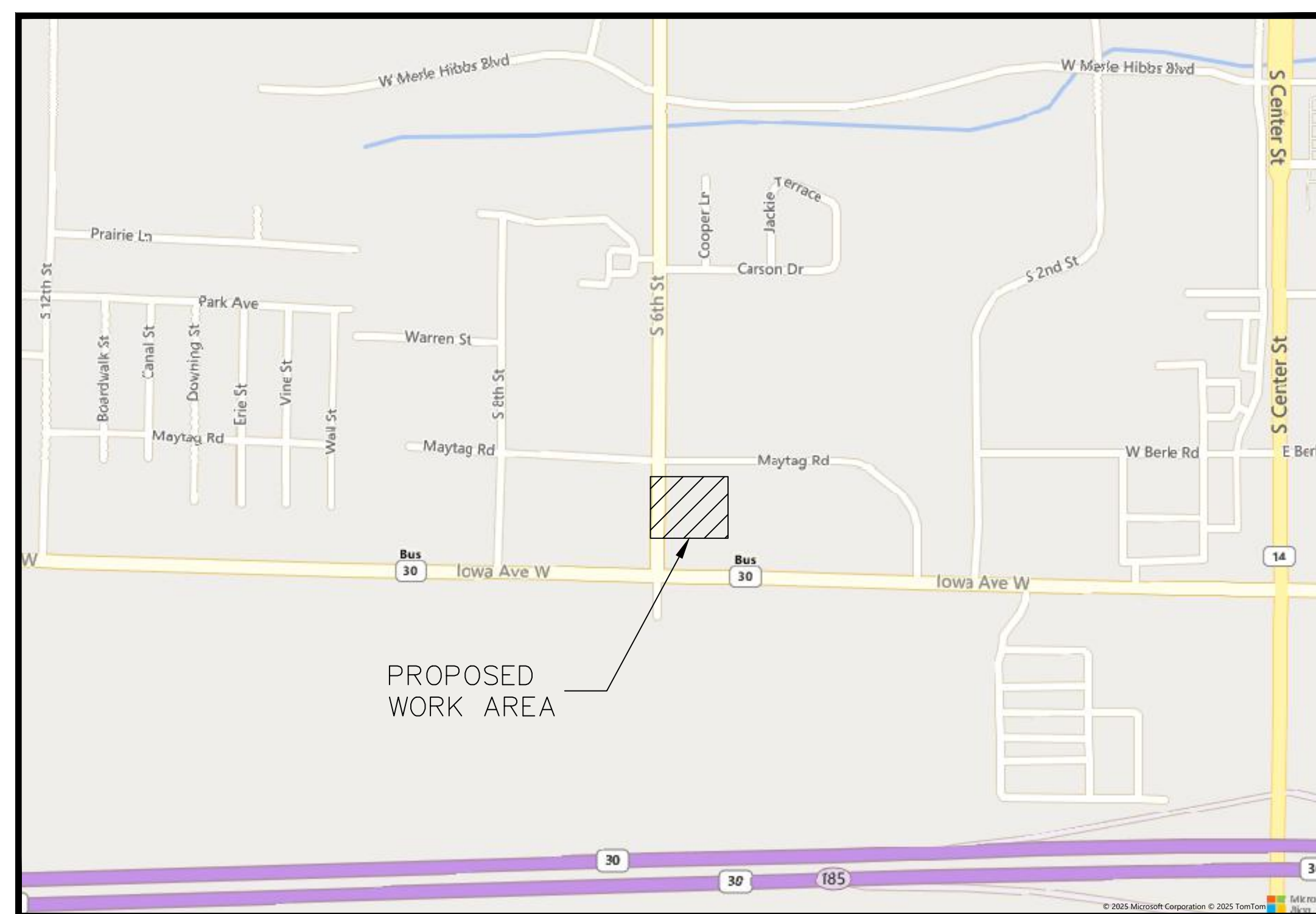
# LUMEN<sup>®</sup>

## PROPOSED FIBER OPTIC AND POWER CONDUIT INSTALLATION FOR PRE-FAB SHELTER

3202 S. 6TH ST.  
MARSHALLTOWN, IOWA

INDEX TO SHEETS	
SHEET	TITLE
1	COVER SHEET
2	LEGEND & CONTACT INFORMATION
3	GENERAL NOTES
4	SITE SURVEY
5	PROJECT PLAN VIEW
6	STANDARD CONSTRUCTION DETAIL
7	FENCE DETAILS
8	GRADING, EROSION & SEDIMENTATION CONTROL PLAN
9	GRADING, EROSION & SEDIMENTATION CONTROL NOTES
10	GRADING, EROSION & SEDIMENTATION CONTROL DETAILS
11	SOIL BORING NOTES
12	SHELTER FOUNDATION PLAN
13	SHELTER FOUNDATION ELEVATION & DETAILS
14	ELECTRICAL NOTES
15	ELECTRICAL NOTES CONT.
16	ELECTRICAL ONE-LINE DIAGRAM
17	ELECTRICAL DETAILS
18	ELECTRICAL DETAILS
19	ELECTRICAL DETAILS
20	ELECTRICAL DETAILS
21	ELECTRICAL DETAILS
22	ELECTRICAL DETAILS
23	LOAD CALCULATIONS
24	LOAD CALCULATIONS
25	CABLE & CONDUIT SCHEDULES
26	GROUNDING SITE PLAN TYPICAL DETAILS
27	GROUNDING SITE PLAN TYPICAL DETAILS
28	GROUNDING DETAILS

SITE LOCATION MAP



ENGINEER'S ESTIMATE OF MATERIALS	
QUANTITY	ITEM
1	23'-4" x 36'-0" DW THERMOBOND SHELTER
1	12'-0" x 36'-0" SW THERMOBOND SHELTER
1	23'-4" X 36'-0" FOUNDATION PAD (FUTURE)
1	300 KVA NEMA 3R PAD MOUNTED TRANSFORMER
1	150 KVA NEMA 3R PAD MOUNTED TRANSFORMER
1	300KW 3PH5W GEN-SET
1	UTILITY FRAME
1	600A SWITCHGEAR PANELBOARD
1	480V 3PH ATS
1	400A DISCONNECT SWITCH
465	LINEAR FEET OF 1-4" PVC SCHEDULE 40 CONDUIT FOR POWER
713	LINEAR FEET OF CHAIN-LINK FENCING



NOTE: THE FOLLOWING PLAN SET IS NOT TRANSFERABLE AND IS ONLY CONSIDERED AN OFFICIAL CONSTRUCTION DRAWING WHEN ACCOMPANIED WITH A SIGNED ENGINEERING SEAL.

N 																																												
OWNER																																												
DEVELOPER <b>LUMEN<sup>®</sup></b>																																												
ENGINEER  <b>TALMAN CONSULTANTS</b> LICENSE NO. 184.007393-0002																																												
CONTRACTOR  <b>GRP WEGMAN</b> INNOVATION FROM CONCEPT TO COMPLETION																																												
NOTES 																																												
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FILE NAME/SEGMENT ID <b>MRTWIADN</b>																																												
JOB TITLE <b>FIBER OPTIC AND POWER CONDUIT INSTALLATION FOR PRE-FAB SHELTER 3202 S. 6TH ST. JURISDICTION: MARSHALLTOWN, IA</b>																																												
PROJECT MANAGER <b>JAMES D. NORTON</b>																																												
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SHEET: 1 OF 28																																												

**OWNER:**

LUMEN  
EDDIE MORALES  
PROJECT MANAGER  
EGDAR.MORALES@LUMEN.COM  
(773) 420-7118

**CONTRACTOR:**

LUMEN  
ZACHARY BARNES  
LEAD CONSTRUCTION MANAGER  
REMOTE INDIANA  
TEL: (317) 522-0104 / CELL: (765) 301-8098  
ZACHARY.BARNES@LUMEN.COM

**ENGINEER:**

TALMAN CONSULTANTS, LLC  
JAMES D. NORTON, P.E.  
141 WEST JACKSON BOULEVARD, SUITE 1600A  
CHICAGO, IL 60604  
JNORTON@TALMANCONSULTANTS.COM

**PROPOSED**

- PROPOSED OPEN CUT TRENCH
- PROPOSED DIRECTIONAL BORE
- PROPOSED BORE PIT

**COMED**

EXISTING COMED

**CTA**

- EXISTING CTA
- POTENTIAL BURIED CTA ABANDON TRACKS

**DEO/ELECTRIC**

- EXISTING DEO/ELECTRIC
- EXISTING STREET LIGHT CONTROL BOX
- EXISTING TRAFFIC LIGHT CONTROL BOX
- EXISTING STREET LIGHT HANDHOLE
- EXISTING TRAFFIC LIGHT HANDHOLE
- EXISTING RED LIGHT CAMERA POLE
- EXISTING RED LIGHT FLASH POLE

**ENWAVE/UNICOM**

EXISTING ENWAVE/UNICOM

**GAS**

- EXISTING GAS MAIN
- EXISTING GAS MAIN (DEAD)
- EXISTING GAS CAP
- EXISTING GAS REDUCER

**MISCELLANEOUS**

- EXISTING FENCE
- EXISTING CONSTRUCTION FENCE
- EXISTING GUARDRAIL
- APPROXIMATE PROPERTY LINE/ R.O.W.
- EXISTING BIKE RACK
- EXISTING TREE
- EXISTING BUSH
- EXISTING STREET SIGN POST
- EXISTING POST/BOLLARD
- EXISTING GROUND LIGHT
- EXISTING UTILITY POLE
- EXISTING STANDPIPE
- EXISTING ADA RAMP

- PROPOSED QUAZITE BOX
- PROPOSED 30" CONCRETE COMMUNICATIONS MH
- PROPOSED 4'X4'X4' CONCRETE COMMUNICATIONS MH

EXISTING COMED MANHOLE

EXISTING CTA MANHOLE

- EXISTING STREET LIGHT POLE
- EXISTING TRAFFIC LIGHT POLE
- EXISTING DEO POLE
- EXISTING PARKING LIGHT POLE
- EXISTING ELECTRIC MANHOLE
- EXISTING ELECTRIC HANDHOLE

EXISTING ENWAVE/UNICOM MANHOLE

- EXISTING GAS MANHOLE
- EXISTING GAS VALVE
- EXISTING GAS METER

- EXISTING MISCELLANEOUS MANHOLE
- EXISTING GARBAGE CAN
- EXISTING PARK DISTRICT MANHOLE
- EXISTING MONITORING WELL
- EXISTING FIRE ALARM
- EXISTING STREET PARKING PAY BOX
- EXISTING PEDESTAL
- EXISTING MAILBOX
- EXISTING NEWSPAPER BOX
- EXISTING PHONE
- EXISTING SPRINKLER CONTROL BOX
- EXISTING SPRINKLER VALVE
- EXISTING SUPPORT COLUMN

- EXISTING AT&T
- EXISTING AT&T (ABANDON)
- EXISTING CROWN CASTLE
- EXISTING CABLE TV
- EXISTING CENTURYLINK
- EXISTING COMCAST
- EXISTING COMMUNICATIONS
- EXISTING JOINT BUILD
- EXISTING LEVEL 3
- EXISTING LOOKING GLASS
- EXISTING MCI/VERIZON
- EXISTING McLEODUSA
- EXISTING NETSYNC FIBER
- EXISTING NEXTG
- EXISTING QWEST
- EXISTING RCN
- EXISTING SIDERA
- EXISTING SPRINT
- EXISTING SUNESYS
- EXISTING VERIZON
- EXISTING WOW
- EXISTING XO COMMUNICATIONS
- EXISTING YIPES COMMUNICATIONS
- EXISTING ZAYO GROUP

- EXISTING SEWER MAIN
- EXISTING SEWER MAIN (ABANDON)
- EXISTING STORM SEWER MAIN
- EXISTING MWRD MANHOLE

- EXISTING WATER MAIN
- EXISTING WATER MAIN (ABANDON)
- EXISTING WATER SHUT OFF
- EXISTING FIRE CISTERN MANHOLE
- EXISTING WATER CAP

**COMMUNICATIONS**

- EXISTING AT&T MANHOLE
- EXISTING CROWN CASTLE MANHOLE
- EXISTING CABLE TV MANHOLE
- EXISTING CENTURYLINK
- EXISTING COMCAST MANHOLE
- EXISTING COMMUNICATIONS MANHOLE
- EXISTING JOINT BUILD
- EXISTING LEVEL 3 MANHOLE
- EXISTING LOOKING GLASS MANHOLE
- EXISTING MCI/VERIZON MANHOLE
- EXISTING McLEODUSA MANHOLE
- EXISTING NETSYNC FIBER
- EXISTING NEXTG MANHOLE
- EXISTING QWEST MANHOLE
- EXISTING RCN MANHOLE
- EXISTING SIDERA MANHOLE
- EXISTING SPRINT/NEXTEL MANHOLE
- EXISTING SUNESYS MANHOLE
- EXISTING VERIZON MANHOLE
- EXISTING WOW MANHOLE
- EXISTING XO MANHOLE
- EXISTING YIPES MANHOLE
- EXISTING ZAYO GROUP MANHOLE
- EXISTING SEWER MANHOLE
- EXISTING SEWER CATCH BASIN
- EXISTING SEWER INLET

**SEWER**

**WATER**

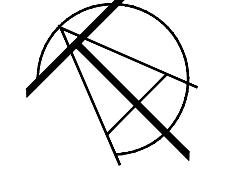
- EXISTING WATER MANHOLE
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING FIRE HYDRANT
- EXISTING WATER REDUCER

OWNER

DEVELOPER

**LUMEN**

ENGINEER

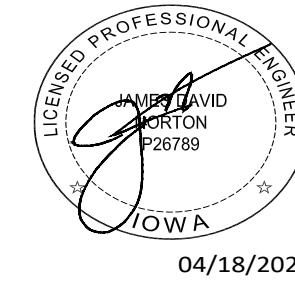


**TALMAN**  
CONSULTANTS  
LICENSE NO. 184.007393-0002

CONTRACTOR



NOTES



SHEET TITLE

**LEGEND & CONTACT INFORMATION**

FILE NAME/SEGMENT ID

**MRTWIADN**

JOB TITLE

**FIBER OPTIC AND POWER CONDUIT INSTALLATION FOR PRE-FAB SHELTER 3202 S. 6TH ST. JURISDICTION: MARSHALLTOWN, IA**

PROJECT MANAGER

JAMES D. NORTON

CREATED JW	CHECKED KPB	APPROVED JDN
DATE CREATED 10/29/2024	PAPER SIZE 22" X 34"	SCALE N.T.S.

PROJECT NUMBER CL-24-0202	PERMIT NUMBER N/A
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3	NA	NA	NA
4	NA	NA	NA
5	04/18/25	PERMIT REV	JW
6			
7			
8			
9			
10			

SHEET: 2 OF 28

REV: 12/15/23

**ALL PROPOSED WORK UNDER THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH THE ENSUING NON-INCLUSIVE CONDITIONS:**

SCOPE OF WORK:

- CONSTRUCTION OF ALL ASSOCIATED ACCESSORIES FOR CONDUIT INSTALLATION. SEE PLAN SHEETS FOR SUMMARY OF PROPOSED IMPROVEMENTS.  
  
ESTIMATE OF MATERIALS: SEE COVER SHEET.
- THE CONTRACTOR SHALL PROVIDE ALL COMPONENTS NECESSARY TO COMPLETE THE DESCRIBED WORK UNDER THIS CONTRACT INCLUDING MATERIAL, LABOR, EQUIPMENT, INSTALLATION, RESTORATION, JOB SITE DELIVERY COSTS, AND UTILITY RELOCATION CHARGES IF NECESSARY.
- CHANGE-ORDER REQUESTS MUST BE PRESENTED IN WRITING TO THE OWNER'S REPRESENTATIVE AND APPROVED PRIOR TO PROCEEDING WITH THE REQUESTED CHANGE. DOCUMENTATION CONCERNING ANY AND ALL CHANGE ORDERS WILL BE TREATED AS LEGAL DOCUMENTS AND ARE TO BE FILED WITH THE OWNER'S REPRESENTATIVE FOR FUTURE REFERENCE.

4. THE ENGINEER WILL NOT BE RESPONSIBLE OR LIABLE FOR ERRORS OR NEGLIGENT ACTS OF OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, OR ANY OF THE CONTRACTORS' OR SUBCONTRACTORS' EMPLOYEES OR AGENTS OR ANY OTHER PERSONS (EXCLUDING ENGINEER'S OWN EMPLOYEES) AT THE CONSTRUCTION SITE OR OTHERWISE PERFORMING ANY OF THE PROJECT WORK. CONTRACTORS, SUBCONTRACTORS, AND ENGINEERS WILL BE RESPONSIBLE FOR THEIR OWN SAFETY PROGRAM. NEITHER THE PROFESSIONAL ACTION OF THE ENGINEER, NOR THE PRESENCE OF THE ENGINEER OR HIS OR HER EMPLOYEES AND SUBCONSULTANTS AT THE CONSTRUCTION SITE SHALL RELIEVE ANY CONTRACTOR OF HIS OR HER OBLIGATIONS, DUTIES, AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES, OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING, OR COORDINATING ALL PORTIONS OF THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. THE ENGINEER AND HIS OR HER PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR OTHER ENTITY OR THEIR EMPLOYEES IN CONNECTION WITH ANY HEALTH OR SAFETY PRECAUTIONS.

5. THE CONTRACTOR SHALL PROVIDE ADVANCED NOTICE TO THE ENGINEER TO SCHEDULE A WALK THROUGH OF THE CONSTRUCTION SITE WITH A REPRESENTATIVE FROM TALMAN CONSULTANTS. A WALK THROUGH MUST BE SCHEDULED AND COMPLETED PRIOR TO ANY WORK TAKING PLACE WITHIN THE LIMITS OF THIS PROJECT.

GENERAL NOTES:

- WORK WILL NOT BE STARTED PRIOR TO PERMIT ACQUISITION. ANY INFORMATION REQUIRED BY THE CITY OF MARSHALLTOWN SHALL BE PROVIDED BY THE CONTRACTOR TO SECURE ALL PERMITS.
- COPIES OF THE PLANS WILL BE SENT TO THE CITY OF MARSHALLTOWN FOR COMMENTS AND EVALUATION. ANY UTILITY CONFLICTS SHALL BE RESOLVED PRIOR TO OBTAINING PERMITS.
- EXISTING RIGHT-OF-WAY SHALL BE VERIFIED TO ENSURE THAT NO WORK WILL TAKE PLACE WITHIN PRIVATE PROPERTY. ALL WORK WITHIN PRIVATE PROPERTY MUST BE FORMALLY APPROVED BY THE LAND OWNER.
- THESE DRAWINGS SHALL NOT BE SCALED AND SHALL BE TAKEN FOR GENERAL INFORMATION ONLY. THE SCALE SHOWN ON THE SHEETS IS FOR THE ORIGINAL DOCUMENT SIZE ONLY.
- AGENCIES HAVING JURISDICTION OVER PROPOSED WORK SHALL GOVERN THE REQUIREMENTS OF THE CONTRACTOR AND ALL WORK SHALL BE COORDINATED WITH OTHER PROJECTS IN THE AREA PRIOR TO AND DURING THE PROPOSED INSTALLATION.
- CONTRACTOR SHALL COORDINATE PROPOSED WORK WITH ALL PRIVATE AND PUBLIC UTILITIES AS WELL AS STATE AND CITY AGENCIES.

WORK:

- EQUIPMENT AND MATERIALS CANNOT BE STORED IN THE PUBLIC ROADWAY UNLESS WRITTEN PERMISSION IS OBTAINED FROM THE CITY, STATE, OR GOVERNING BODY WHERE WORK IS TO BE PERFORMED.
- THE CONTRACTOR SHALL SAW CUT AND MARK THE PROPOSED UTILITY DIMENSIONS ON THE SURFACE PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL EXCAVATE 3 ADDITIONAL INCHES AROUND THE PROPOSED STRUCTURES AND UTILITIES.
- WHEN FINAL BASE ELEVATION IS ACHIEVED, THE CONTRACTOR SHALL INSTALL A 6" CONCRETE MUDSLAB AT THE BASE OF THE EXCAVATION ON THE SAME DAY UNLESS AN ALTERNATIVE DESIGN HAS BEEN PROVIDED BY A LICENSED, STRUCTURAL ENGINEER.
- ALL EXCAVATIONS SHALL BE THOROUGHLY INSPECTED BY THE CONTRACTOR PRIOR TO PLACING PROPOSED UTILITIES. ALL EXISTING AND NEWLY INSTALLED UTILITIES SHALL BE INSPECTED PRIOR TO SHORING OR BACKFILLING THE EXCAVATED AREA.
- THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING AND REVIEWING ANY SHORING SYSTEMS BEFORE CONSTRUCTION.
- THE CONTRACTOR IS TO ASSUME THAT ALL EXISTING CABLES ARE ENERGIZED AND SHALL BE SUPPORTED IN A WAY THAT NO PART OF THE CABLE IS STRESSED.
- IF NECESSARY, THE CONTRACTOR IS TO PROVIDE ENGINEERED DE-WATERING MEASURES TO ENSURE THAT THE GROUNDWATER TABLE REMAINS AT AN ELEVATION BELOW THE EXCAVATION BASE AS WELL AS DURING BACKFILLING OPERATIONS AND REPAIR WORK.
- TALMAN CONSULTANTS SHALL BE NOTIFIED WHEN NEWLY INSTALLED DUCT PACKAGE DEPTH BELOW THE SURFACE IS GREATER THAN THAT SHOWN IN THE PROFILE DRAWING.
- TALMAN CONSULTANTS SHALL BE NOTIFIED WHEN THE CONTRACTOR IS UNABLE TO OBTAIN THE NECESSARY VERTICAL OR HORIZONTAL CLEARANCE FROM EXISTING UTILITIES, SO THAT THE APPROPRIATE OWNER'S REPRESENTATIVE CAN BE NOTIFIED AND A VARIANCE CAN BE REQUESTED.

MATERIALS:

- ALL INSTALLED MATERIALS WITHIN THE PROJECT AREA SHALL BE IN CONFORMANCE WITH STANDARD RECOMMENDATIONS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) AND THE NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION.
- TRENCHING - CONDUIT, COUPLINGS, AND ELBOWS SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE NOTED IN THE PLAN SET.
- BORING - CONDUIT SHALL BE HDPE SDR-11 UNLESS NOTED OTHERWISE IN THE PLAN SET.
- CONSTRUCTION MATERIALS ARE TO BE STORED IN AN ORGANIZED MANNER AS TO NOT DISRUPT PEDESTRIANS, OTHER WORKERS, OR CONTRACTORS WORKING UNDER DIFFERENT PERMITS.

SAFETY:

- ALL NECESSARY SAFETY PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT UTILITIES, WORKERS, PEDESTRIANS, AND VEHICULAR TRAFFIC. PROTECTION SUCH AS TEMPORARY FENCES AND BARRICADES SHALL BE PROVIDED BY THE CONTRACTOR TO PROTECT THE PUBLIC AND PROPERTY DURING ALL PHASES OF CONSTRUCTION.
- UNFINISHED SURFACE AND OPEN TRENCH LOCATIONS SHALL BE PROTECTED BY DEVICES SUCH AS SIGNAGE, WARNING LIGHTS, TEMPORARY BARRICADES, STEEL PLATES, AND OTHER PROTECTIVE EQUIPMENT 24 HOURS A DAY UNTIL SURFACE IS RESTORED.
- AS NOTED IN THE TRAFFIC PLANS, ENTRANCES TO BUILDINGS, CROSSWALKS, AND GARAGES ARE TO BE MAINTAINED BY THE CONTRACTOR WITH THE USE OF WOODEN ADA RAMPS WHERE NECESSARY. THE GENERAL PUBLIC SHALL BE DIVERTED AWAY FROM THE CONSTRUCTION WORK AREA USING WOODEN PASSAGEWAYS WHERE NECESSARY, INSTALLED AND DESIGNED BY THE CONTRACTOR.

EXISTING UTILITIES:

- THE CONTRACTOR SHALL CONTACT THE CITY OF MARSHALLTOWN AT (641) 754-5734 AT LEAST 2 WORKING DAYS PRIOR TO CONSTRUCTION TO PROVIDE THE NAME AND NUMBER OF THE PROJECT SUPERINTENDENT IN CASE OF A SEWER EMERGENCY.
- EXISTING CONDITIONS, UTILITIES, AND STRUCTURES SHOWN IN THE PLAN SET ARE BASED ON UTILITY ATLASES AND DRAWINGS BY THE UTILITY COMPANIES AND ARE ASSUMED TO BE CORRECT AND ACCURATE. A SURVEY SHALL BE PERFORMED BY THE CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND STRUCTURES IN THE WORK AREA PRIOR TO THE START OF ANY WORK.
- TEST HOLES SHALL BE PERFORMED BY THE CONTRACTOR TO VERIFY THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES WHERE NECESSARY. OVERHEAD OBSTRUCTION LOCATIONS SHALL ALSO BE VERIFIED PRIOR TO WORK COMMENCING.
- JULIE SHALL BE CONTACTED BY THE CONTRACTOR 48 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION AT 811 TO MARK OUT EXISTING UTILITIES NEAR THE PROPOSED EXCAVATION. LOCATIONS OF EXISTING UTILITIES SHOWN IN THE DRAWINGS ARE APPROXIMATE AND MAY NOT ACCURATELY REPRESENT THE EXISTING FIELD CONDITIONS.
- EXCAVATION WORK NEAR EXISTING UTILITIES AND STRUCTURES SHALL BE DONE BY HAND.
- ALL MAJOR DISCREPANCIES BETWEEN THE ACTUAL FIELD CONDITIONS AND THE PLAN SET SHALL BE BROUGHT TO THE ATTENTION OF TALMAN CONSULTANTS BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- AS INSTALLATION PROGRESSES, THE CONTRACTOR SHALL PREPARE RED-LINE DRAWINGS THAT SHOW THE LOCATION AND ELEVATION OF THE PROPOSED INSTALLATION AND ALL EXISTING UTILITIES ENCOUNTERED. UPON COMPLETING THE WORK, THESE RED-LINES SHALL BE SENT TO TALMAN CONSULTANTS.
- A 4' HORIZONTAL AND 2' VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN THE NEW UTILITY AND EXISTING SEWER LINES AND STRUCTURES.
- A SEWER INSPECTOR IS REQUIRED TO BE PRESENT WHERE WORK ON A SEWER IS BEING PERFORMED. IF THERE IS INTERFERENCE WITH A SEWER DRAIN FROM A HOME, THE SEWER SERVICE SHALL BE REPLACED IN KIND.
- WATER MAINS GREATER THAN 12" IN DIAMETER SHALL BE SUPPORTED BY THE CONTRACTOR WITH A PERMANENT STRUCTURE UNLESS OTHERWISE NOTIFIED BY THE WATER DEPARTMENT, AND SHALL BE INCLUDED IN THE OVERALL COST FOR PERFORMING THE SCOPE OF WORK. WATER MAINS SHALL NEVER GO UNSUPPORTED FOR SPANS GREATER THAN 8'.
- COMED SHALL BE NOTIFIED BY THE CONTRACTOR WHEN STEEL PIPE CONDUCTOR IS DAMAGED DURING AN EXCAVATION AND COMED WILL EVALUATE THE DAMAGE TO DETERMINE IF REPAIR IS NECESSARY PRIOR TO RESTORATION.
- LOCATIONS OF EXISTING UTILITIES SHOWN IN DRAWINGS ARE APPROXIMATE AND MAY NOT ACCURATELY REPRESENT THE EXISTING FIELD CONDITIONS.

RESTORATION:

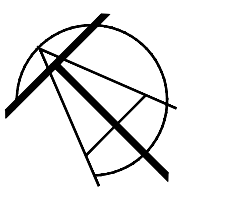
- CONTRACTOR TO OBTAIN ALL PERMITS AND PAY ALL FEES FOR RESTORATION.
- CONTRACTOR SHALL BREAK OUT PAVEMENT, SIDEWALK, DRIVEWAY, PARKWAY, CURB AND GUTTER, AND RESTORE TO LASTING CONDITION. CONTRACTOR TO MATCH EXISTING PAVEMENT JOINTS AND COLOR, TEXTURE, AND FINISH OF SIDEWALKS, CURB, AND GUTTER.
- ROADWAYS AFFECTED BY THE EXCAVATION SHALL BE RESTORED BASED ON LOCAL GOVERNING AGENCY'S SPECIFICATIONS FOR "REGULATIONS FOR OPENINGS, CONSTRUCTION AND REPAIR IN THE ROADWAY." REPLACEMENT OF EXCAVATED SURFACE AND SURROUNDING AREA SHALL BE DETERMINED BY THE CONTRACTOR, LOCAL GOVERNING AGENCY, OR PRIVATE PROPERTY OWNER.
- RESTORATION OF THE AREA AROUND THE PROPOSED INSTALLATION INCLUDES BUT IS NOT LIMITED TO: CONCRETE, BLACK DIRT, SOD, SHRUBS, TREES, BACKFILL, ASPHALT PRIMER, STREET CONCRETE BASE, HOT ROLLED ASPHALT, DRIVEWAY, SIDEWALK, CURB AND GUTTER, ADA RAMPS, AND REINSTALLATION OF SIGNS, TRAFFIC SIGNALS, MAILBOXES, METERS, CITY LIGHTS, TRAFFIC SIGNAL BOXES, BENCHES, CANOPIES, AND PLANTERS.
- A PERMIT SHALL BE OBTAINED BY THE CONTRACTOR TO PAVE THE STREET AND/OR SIDEWALK IN THE CONTRACTOR'S NAME. PAVING SHALL BE COMPLETED BY THE CONTRACTOR WITHIN 15 WORKING DAYS OF THE EXCAVATION BACKFILL UNLESS OTHERWISE ARRANGED WITH THE GOVERNING AGENCY IN ADVANCE.
- ALL DAMAGED UTILITIES AND STRUCTURES ARE TO BE RESTORED BY THE CONTRACTOR TO THE SATISFACTION OF THE CORRESPONDING OWNER'S REPRESENTATIVE.

OWNER

DEVELOPER

**LUMEN**

ENGINEER

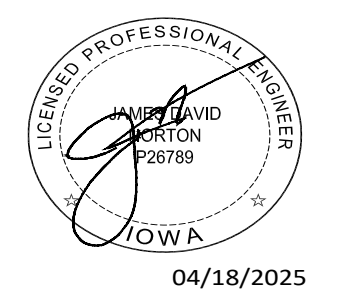


**TALMAN CONSULTANTS**  
LICENSE NO. 184.007393-0002

CONTRACTOR



NOTES



SHEET TITLE

**GENERAL NOTES**

FILE NAME/SEGMENT ID

**MRTWIADN**

JOB TITLE

**FIBER OPTIC AND POWER CONDUIT INSTALLATION FOR PRE-FAB SHELTER 3202 S. 6TH ST. JURISDICTION: MARSHALLTOWN, IA**

PROJECT MANAGER  
JAMES D. NORTON

CREATED JW	CHECKED KPB	APPROVED JDN
DATE CREATED 10/29/2024	PAPER SIZE 22" X 34"	SCALE N.T.S.

PROJECT NUMBER CL-24-0202	PERMIT NUMBER N/A
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REV.	DATE	DESCRIPTION	BY
1	01/21/25	FOR CLIENT REVIEW	JW
2	02/19/25	FOR CLIENT REVIEW	JTH
3	NA	NA	NA
4	NA	NA	NA
5	04/18/25	PERMIT REV	JW
6			
7			
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SHEET: 3 OF 28

REV: 02/07/19

E

D

C

B

A

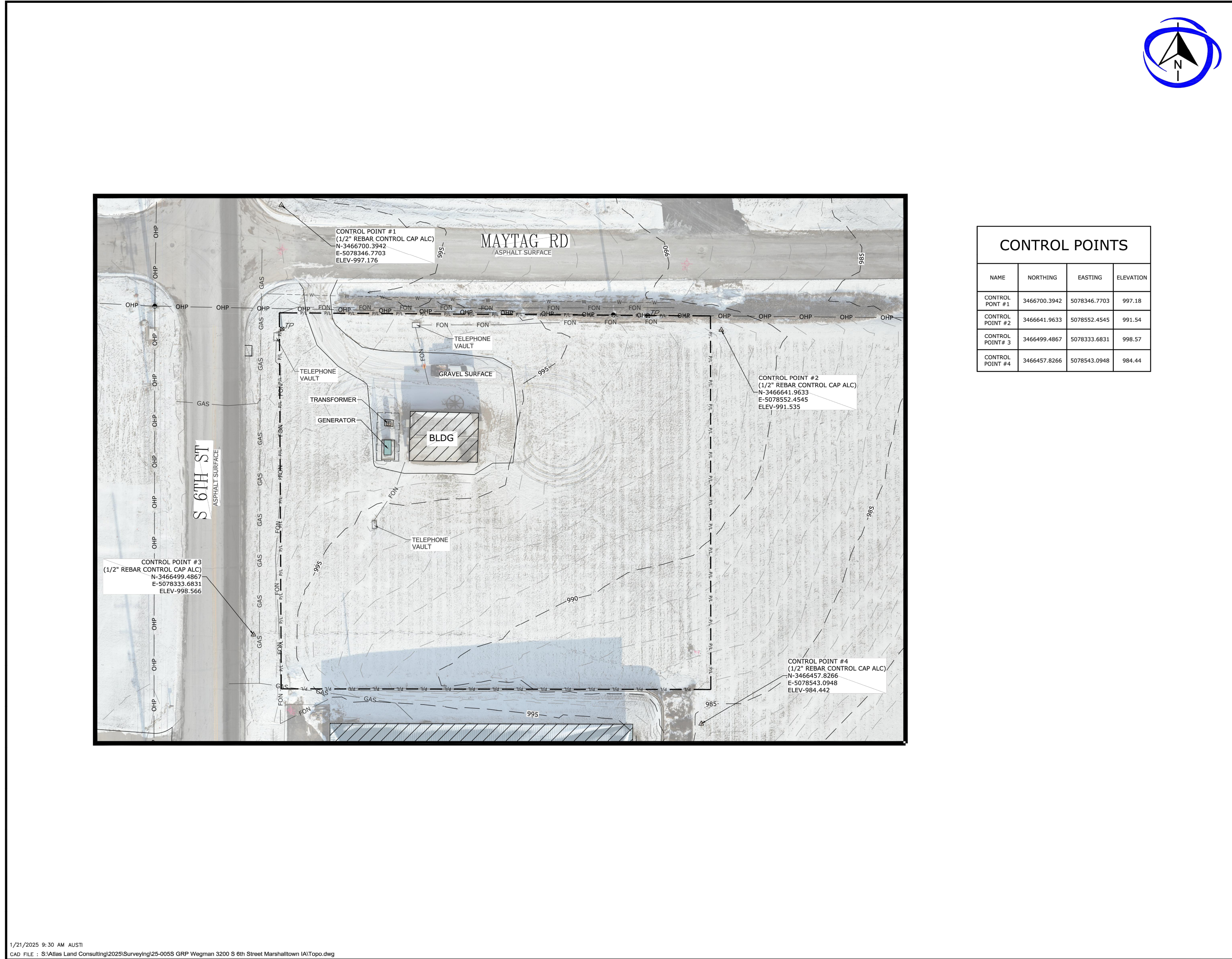
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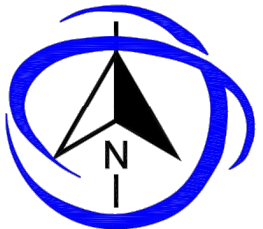
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B

A



CONTROL POINTS			
NAME	NORTHING	EASTING	ELEVATION
CONTROL POINT #1	3466700.3942	5078346.7703	997.18
CONTROL POINT #2	3466641.9633	5078552.4545	991.54
CONTROL POINT #3	3466499.4867	5078333.6831	998.57
CONTROL POINT #4	3466457.8266	5078543.0948	984.44



TOPOGRAPHICAL SURVEY

LEGEND

- P/L ——— PROPERTY LINE
- POWER ——— UNDERGROUND POWER
- OHP ——— OVERHEAD POWER
- FON ——— UNDERGROUND PHONE LINE
- GAS ——— UNDERGROUND GAS LINE
- x — x — BARBED WIRE FENCE
- x — x — CHAIN LINK FENCE
- △ CONTROL POINT CAP ALC
- POWER POLE
- ⊙ TELEPHONE PEDESTAL
- ⊕ WATER VALVE
- ⊘ FIRE HYDRANT
- ⊙ WATER METER

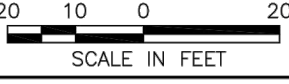
GENERAL NOTES

- FIELD WORK COMPLETED ON JANUARY 9TH, 2025.
- IOWA ONE CALL WAS CALLED. TICKET #243530205
- THIS DOES NOT CONSTITUTE AS A BOUNDARY SURVEY. PROPERTY SHOWN VIA GIS.

JOB NO:25-005S

SCALE

PREPARED FOR



SEC-TWN-RNG

GRP WEGMAN  
ADDRESS: 3200 S 6TH ST  
MARSHALLTOWN, IA

DATE

JANUARY 20, 2025

1/21/2025 9:30 AM AUSTI  
CAD FILE: S:\Atlas Land Consulting\2025\Surveying\25-005S GRP Wegman 3200 S 6th Street Marshalltown IA\Topo.dwg

SITE SURVEY  
N.T.S.

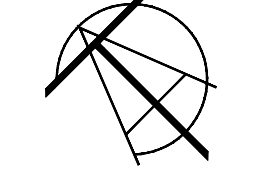


OWNER

DEVELOPER



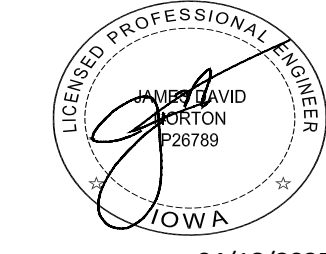
ENGINEER



CONTRACTOR



NOTES



SHEET TITLE

SITE SURVEY

FILE NAME/SEGMENT ID

MRTWIADN

JOB TITLE

FIBER OPTIC AND POWER  
CONDUIT INSTALLATION  
FOR PRE-FAB SHELTER  
3202 S. 6TH ST.  
JURISDICTION:  
MARSHALLTOWN, IA

PROJECT MANAGER

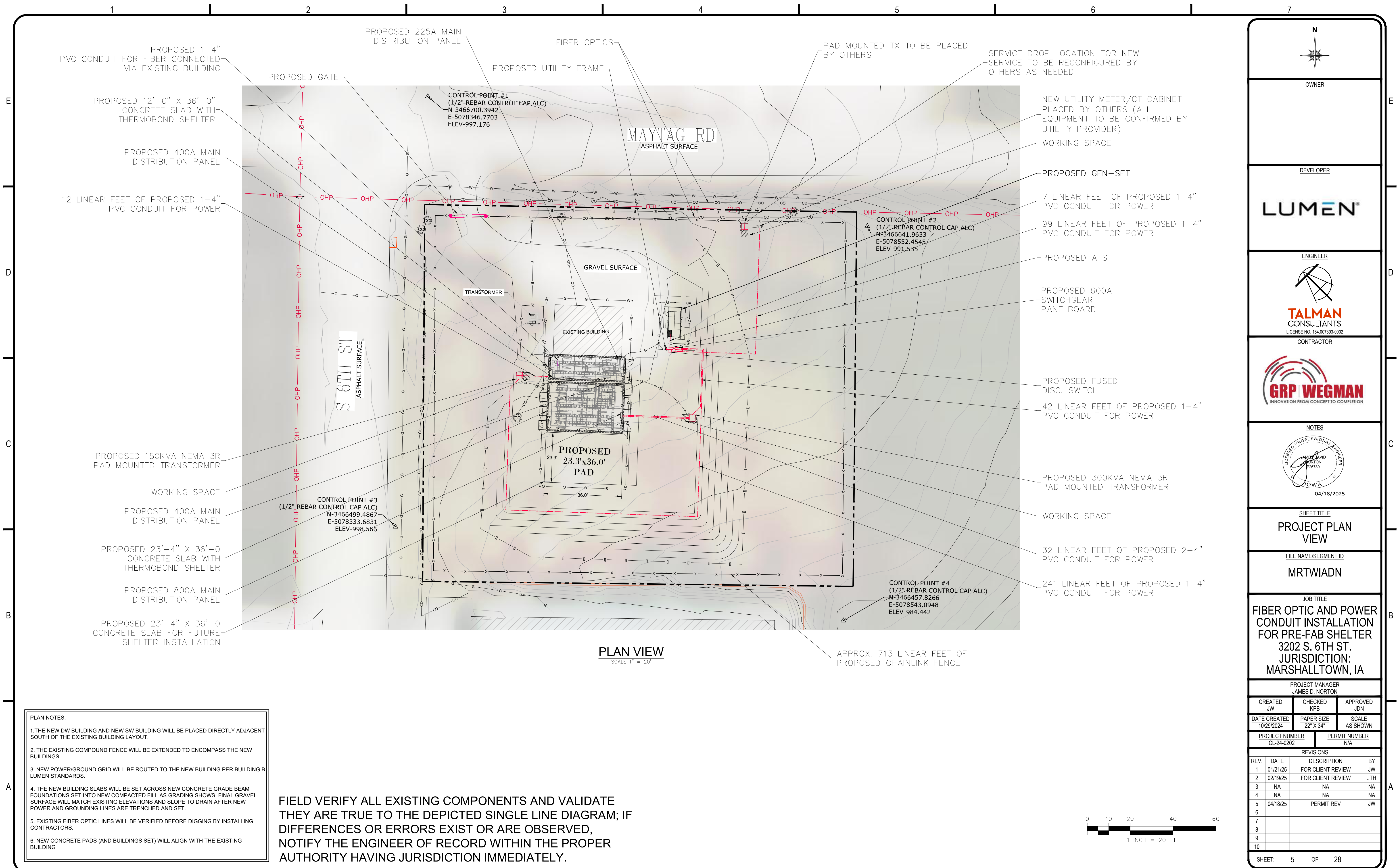
JAMES D. NORTON

CREATED JW	CHECKED KPB	APPROVED JDN
DATE CREATED 10/29/2024	PAPER SIZE 22" X 34"	SCALE N.T.S.

PROJECT NUMBER CL-24-0202	PERMIT NUMBER N/A
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SHEET: 4 OF 28

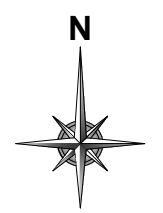


**PLAN VIEW**  
SCALE 1" = 20'

APPROX. 713 LINEAR FEET OF PROPOSED CHAINLINK FENCE

- PLAN NOTES:**
1. THE NEW DW BUILDING AND NEW SW BUILDING WILL BE PLACED DIRECTLY ADJACENT SOUTH OF THE EXISTING BUILDING LAYOUT.
  2. THE EXISTING COMPOUND FENCE WILL BE EXTENDED TO ENCOMPASS THE NEW BUILDINGS.
  3. NEW POWER/GROUND GRID WILL BE ROUTED TO THE NEW BUILDING PER BUILDING B LUMEN STANDARDS.
  4. THE NEW BUILDING SLABS WILL BE SET ACROSS NEW CONCRETE GRADE BEAM FOUNDATIONS SET INTO NEW COMPACTED FILL AS GRADING SHOWS. FINAL GRAVEL SURFACE WILL MATCH EXISTING ELEVATIONS AND SLOPE TO DRAIN AFTER NEW POWER AND GROUNDING LINES ARE TRENCHED AND SET.
  5. EXISTING FIBER OPTIC LINES WILL BE VERIFIED BEFORE DIGGING BY INSTALLING CONTRACTORS.
  6. NEW CONCRETE PADS (AND BUILDINGS SET) WILL ALIGN WITH THE EXISTING BUILDING

**FIELD VERIFY ALL EXISTING COMPONENTS AND VALIDATE THEY ARE TRUE TO THE DEPICTED SINGLE LINE DIAGRAM; IF DIFFERENCES OR ERRORS EXIST OR ARE OBSERVED, NOTIFY THE ENGINEER OF RECORD WITHIN THE PROPER AUTHORITY HAVING JURISDICTION IMMEDIATELY.**

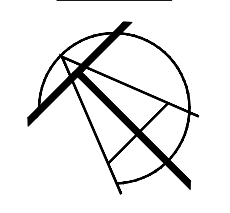


OWNER

DEVELOPER


**LUMEN**

ENGINEER




**TALMAN CONSULTANTS**  
LICENSE NO. 184.007393-0002

CONTRACTOR



**GRP WEGMAN**  
INNOVATION FROM CONCEPT TO COMPLETION

NOTES



04/18/2025

SHEET TITLE

**PROJECT PLAN VIEW**

FILE NAME/SEGMENT ID

**MRTWIADN**

JOB TITLE

**FIBER OPTIC AND POWER CONDUIT INSTALLATION FOR PRE-FAB SHELTER 3202 S. 6TH ST. JURISDICTION: MARSHALLTOWN, IA**

PROJECT MANAGER

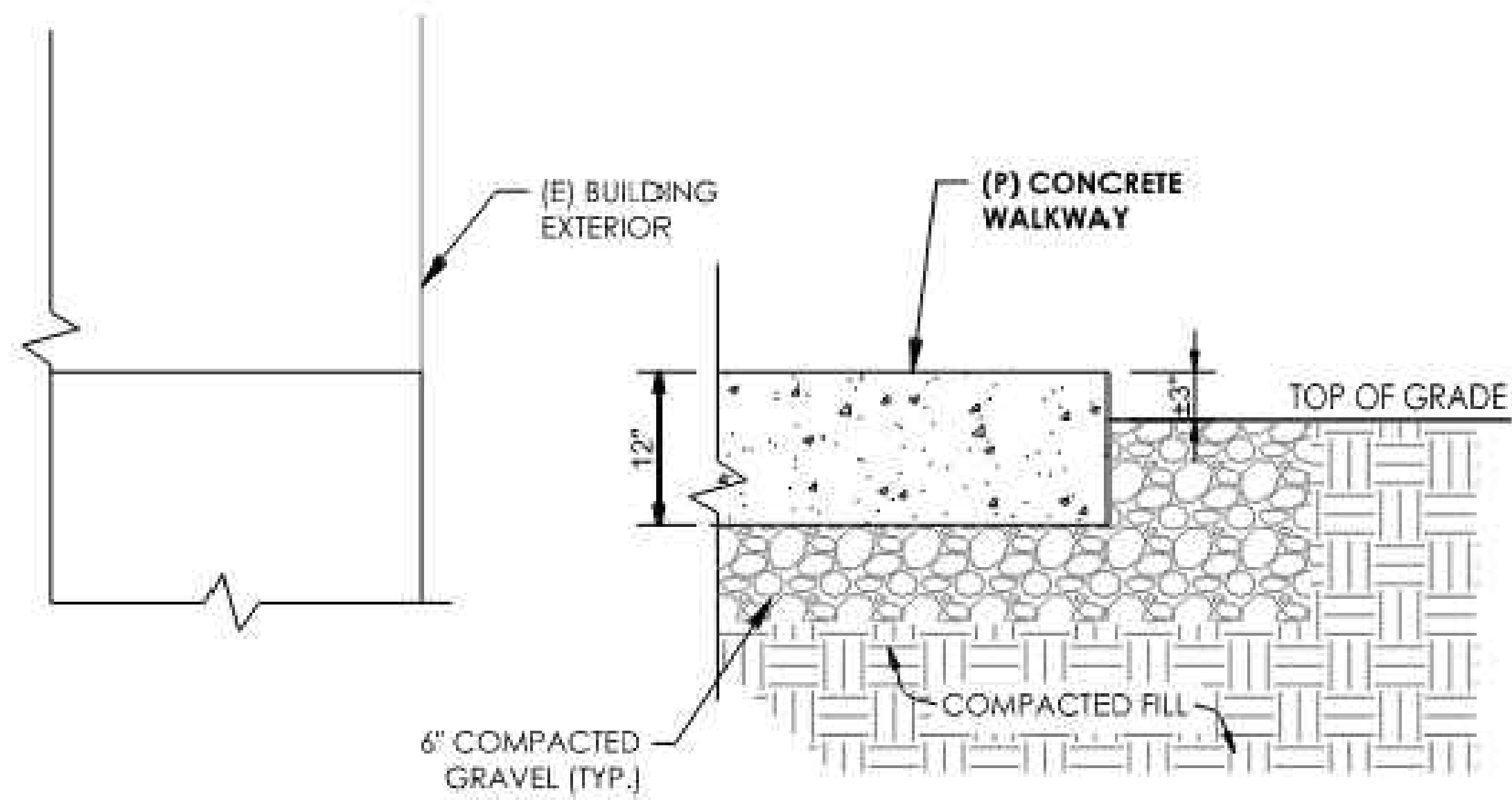
JAMES D. NORTON

CREATED	CHECKED	APPROVED
JW	KPB	JDN
DATE CREATED	PAPER SIZE	SCALE
10/29/2024	22" X 34"	AS SHOWN
PROJECT NUMBER	PERMIT NUMBER	
CL-24-0202	N/A	

REVISIONS

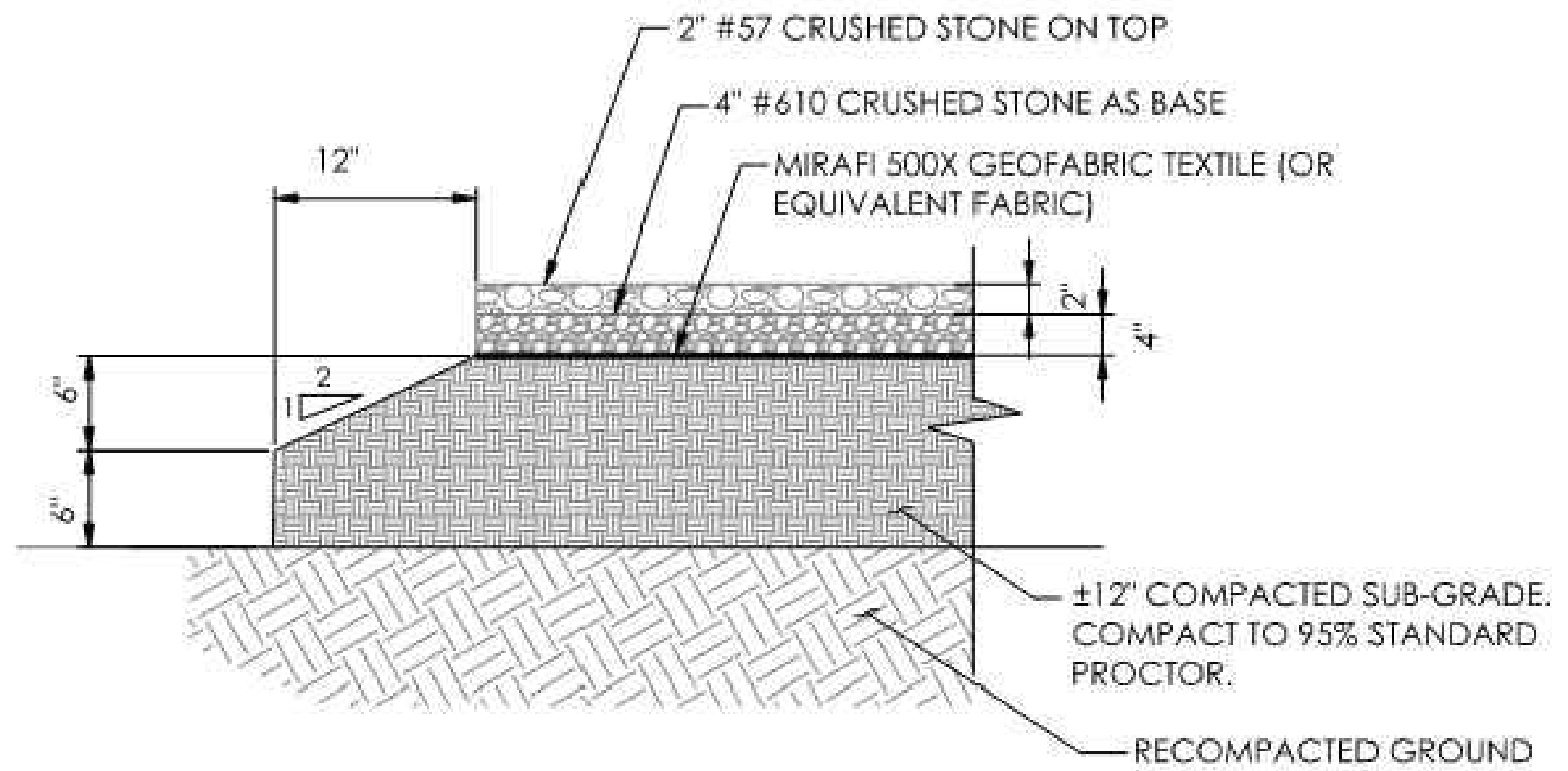
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SHEET: 5 OF 28



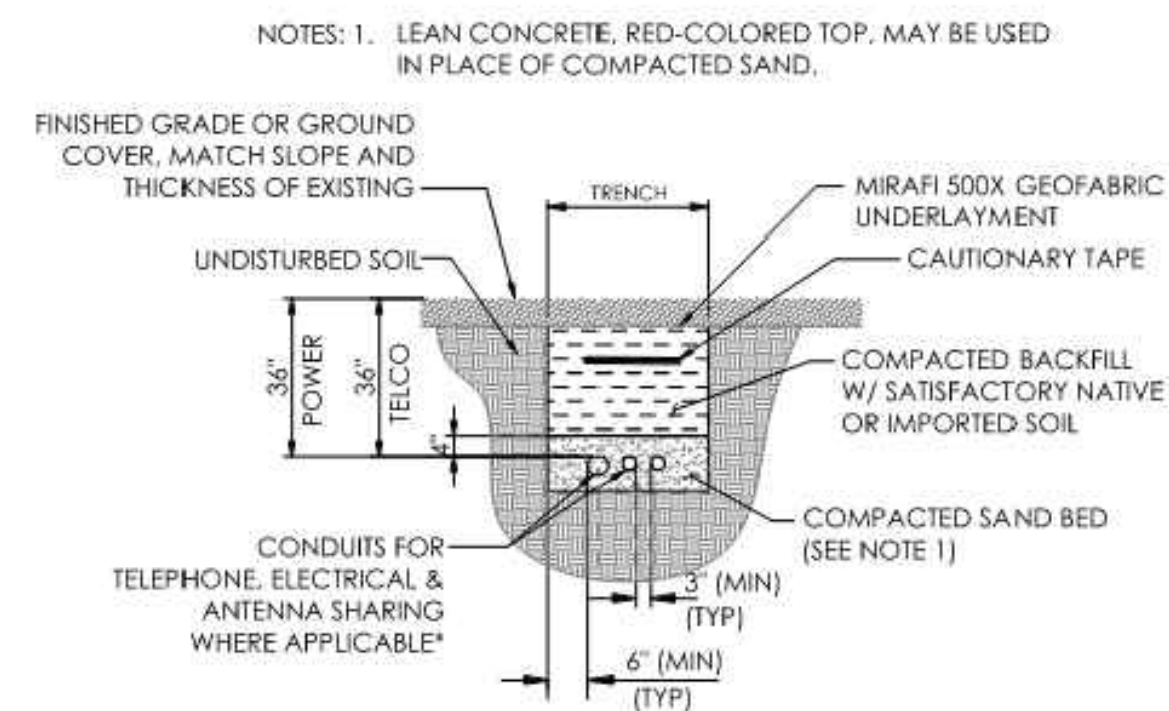
**CONCRETE WALKWAY DETAIL**

NOT TO SCALE



**EQUIPMENT COMPOUND DETAILS**

NOT TO SCALE



\* CONDUIT SIZE, TYPE, QUANTITY AND SEPARATION DIMENSION TO BE VERIFIED WITH LOCAL UTILITY COMPANY REQUIREMENTS & CROWN CASTLE CM

**DIRECT BURIED CONDUIT**

NOT TO SCALE

OWNER

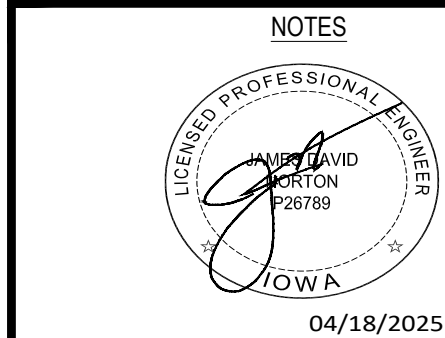
DEVELOPER

**LUMEN**

ENGINEER



CONTRACTOR



SHEET TITLE  
**STANDARD CONSTRUCTION DETAILS**

FILE NAME/SEGMENT ID  
**MRTWIADN**

JOB TITLE  
**FIBER OPTIC AND POWER CONDUIT INSTALLATION FOR PRE-FAB SHELTER 3202 S. 6TH ST. JURISDICTION: MARSHALLTOWN, IA**

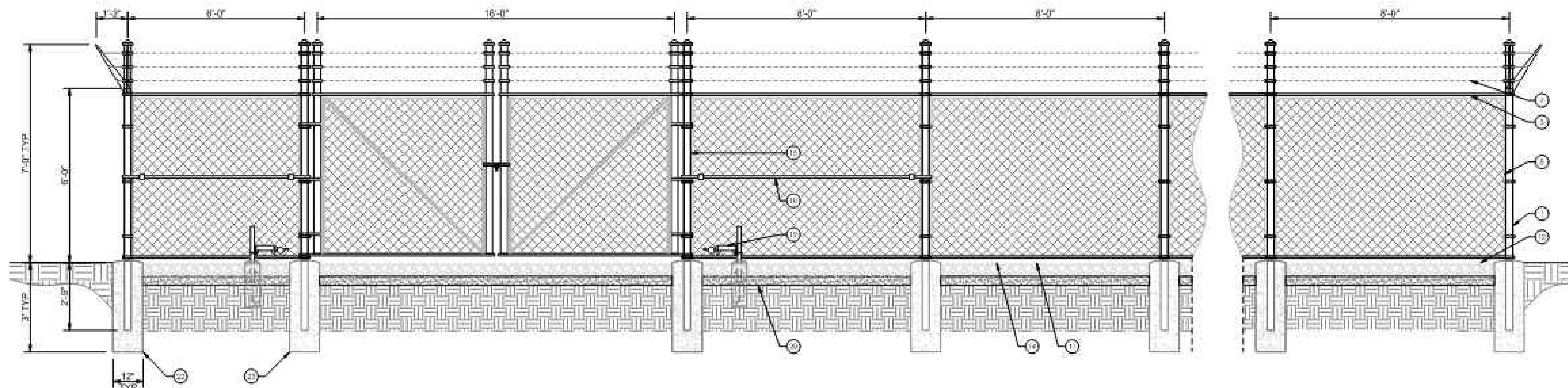
PROJECT MANAGER  
**JAMES D. NORTON**

CREATED JW	CHECKED KPB	APPROVED JDN
DATE CREATED 10/29/2024	PAPER SIZE 22" X 34"	SCALE N.T.S.

PROJECT NUMBER CL-24-0202	PERMIT NUMBER N/A
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7			
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10			

SHEET: 6 OF 28



**FENCE DETAILS**  
N.T.S.

**REFERENCE NOTES:**

- 1 CORNER, END OR PUG POST: 4" NOMINAL SCHEDULE 40 PIPE.
- 2 LINE POST: 2 1/2" SCHEDULE 40 PIPE, PER ASTM F1083. LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 8'-0" O.C.
- 3 TOP RAIL & BRACE RAIL: 1 1/2" PIPE, PER ASTM F1083.
- 4 FABRIC: 9 GA. CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM A892.
- 5 TIE WIRE: MINIMUM 11 GA. GALVANIZED STEEL AT POSTS AND RAILS. A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOG RINGS SPACED MAX. 24" INTERVALS.
- 6 TENSION WIRE: 9 GA. GALVANIZED STEEL.
- 7 BARBED WIRE: DOUBLE STRAND 12 1/2" O.D. TWISTED WIRE TO MATCH WITH FABRIC. 14 GA. 4 PC. BARBS SPACED ON APPROXIMATELY 5" CENTERS.
- 8 STRETCHER BAR.
- 9 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD.
- 10 FENCE CORNER POST BRACE: 1 5/8" DIA. EACH CORNER EACH WAY.
- 11 1 1/2" MAXIMUM CLEARANCE FROM GRADE.
- 12 2" FINISH OR AS DETERMINED BY CONSTRUCTION MANAGER DURING BID WALK.
- 13 4" COMPACTED 95% BASE MATERIAL OR AS DETERMINED BY CONSTRUCTION MANAGER DURING BID WALK.
- 14 FINISH GRADE SHALL BE UNIFORM AND LEVEL.
- 15 GATE POST: 4" SCHEDULE 40 PIPE FOR GATE WIDTHS UP THRU 7 FEET OR 14 FEET FOR DOUBLE SWING GATE, PER ASTM F1083.
- 16 GATE FRAME: 1 1/2" PIPE, PER ASTM F1083.
- 17 GATE FRAME: 1 5/8" DIAMETER PIPE, PER ASTM F1083.
- 18 GATE DIAGONAL: GALVANIZED STEEL 1 1/2" PIPE.
- 19 DUCK BILL OPEN GATE HOLDER. VERIFY LOCATION IN FIELD PRIOR TO INSTALLATION.
- 20 GEOTEXTILE FABRIC.
- 21 LINE POST: CONCRETE FOUNDATION (2000 #S).
- 22 CORNER POST: CONCRETE FOUNDATION (2000 #S).
- 23 GATE POST: CONCRETE FOUNDATION (2000 #S).

**GENERAL NOTES:**

1. INSTALL FENCING PER ASTM F-567.
2. INSTALL SWING GATES PER ASTM F-900.
3. LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED IF REQUIRED.
4. POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS. ALL PIPE TO BE 1 1/2" GALV. (HOT DIP, ASTM A120 GRADE 'A' STEEL). ALL GATE FRAMES SHALL BE WELDED. ALL WELDING SHALL BE COATED WITH (3) COATS OF COLD GALV. (OR EQUAL).
5. ALL OPEN POSTS SHALL HAVE END CAPS.
6. USE GALVANIZED HOG-RING WIRE TO MOUNT ALL SIGNS.
7. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC.

OWNER

DEVELOPER

**LUMEN**

ENGINEER

**TALMAN CONSULTANTS**  
LICENSE NO. 184.007393-0002

CONTRACTOR

**GRP WEGMAN**  
INNOVATION FROM CONCEPT TO COMPLETION

NOTES

**DAVID NORTON**  
LICENSED PROFESSIONAL ENGINEER  
TOWNSHIP OF MARSHALLTOWN  
IOWA  
04/18/2025

SHEET TITLE

**FENCE DETAILS**

FILE NAME/SEGMENT ID

**MRTWIADN**

JOB TITLE

**FIBER OPTIC AND POWER CONDUIT INSTALLATION FOR PRE-FAB SHELTER 3202 S. 6TH ST. JURISDICTION: MARSHALLTOWN, IA**

PROJECT MANAGER  
JAMES D. NORTON

CREATED JW	CHECKED KPB	APPROVED JDN
DATE CREATED 10/29/2024	PAPER SIZE 22" X 34"	SCALE N.T.S.
PROJECT NUMBER CL-24-0202	PERMIT NUMBER N/A	

REVISIONS

REV.	DATE	DESCRIPTION	BY
1	01/21/25	FOR CLIENT REVIEW	JW
2	02/19/25	FOR CLIENT REVIEW	JTH
3	NA	NA	NA
4	NA	NA	NA
5	04/18/25	PERMIT REV	JW
6			
7			
8			
9			
10			

SHEET: 7 OF 28



7.10 PERMANENT EROSION CONTROL
The normal periods for permanent urban and rural seeding are from March 1 to May 31 and from August 10 to September 30. Native grass and wildflower seeding dates are between April 1 through May 31 and November 1 until ground conditions are unsuitable for seeding due to moisture or frost.

These dates may be modified by the Construction and Materials Bureau or the Design Bureau (Roadside Development Section). Changes in the dates will be based on temperature and moisture conditions and possibly specific project considerations.

Seeding date extension notices will be posted on the Construction and Materials Bureau website:
https://iowadot.gov/construction\_materials/Earthwork-and-erosion-control

Any other extensions or dormant seeding are at the discretion of the Engineer on a project-by-project basis.

7.11 PREPARATION OF SEEDBED
Before seeding operations commence, care should be taken to properly prepare the area to be seeded. Areas around culvert headwalls and wingwalls, shoulders, flumes, signposts, and other structures require special attention.

All debris, including stones 3 inches in diameter and larger, logs, stumps, wire, and other objectionable material shall be picked up and disposed of off the project.

If there is enough vegetative growth (i.e., weeds or temporary seeding) to sufficiently interfere with proper seedbed preparation, the contractor is to mow before seeding at no additional cost to the Contracting Authority, unless indicated otherwise in the plans. Or in the case of installing permanent native grass seed using a drill with a no till attachment, no seedbed preparation is required.

7.12 PREPARATION OF SEED MIXTURE
Seed
Permanent rural, permanent urban, urban stabilizing, Native Grass, Wetland Grass, and Wildflower seeding mixtures are required to be mixed off-site by a seed conditioner approved by ICIA or other state's Crop Improvement Association.

Mechanically printed seed tags and the seed mixture reports should be checked to verify that it complies with minimum purity and germination requirements, current test data, and variety. The date of the germination test should be checked also.

during application of material, a continuous operation with a constant pressure must be maintained during the seeding.

The contractor should apply the mixture of water, seed, and fertilizer with the wind, if possible. The contractor should try to prevent mist from blowing across the roadway if open to traffic.

The seed may be in the fertilizer solution for no more than one hour.

If hydraulic mulching is used with hydraulic seeding, they must be performed as separate operations. To keep seed from floating to the top in the equipment during hydraulic seeding, a bag of hydraulic mulch may be added to the seed.

7.15 URBAN SEEDING
The suggested sequence for temporary seeding in urban areas is:

- 1. Seedbed prep with a rotary tiller
2. Apply fertilizer and roll prior to seeding. For rolling, use either open grid type equipment or cultipacker type equipment modified by covering with expanded metal mesh.
3. Apply seed with gravity, cyclone, hydraulic, native grass seed drill with split rate application (no less than two passes).
4. Roll after application of seed.
5. Apply mulch (typically hydraulic mulch is used in urban situations).

The suggested sequence for permanent seeding in urban areas is:

- In areas with urban crop stabilizing 50% or more,
5. Seedbed preparation is not required.
6. Apply fertilizer (but no disking).
7. Apply seed with slit seeder with split rate application (no less than two passes)
8. Roll after application of seed.
• Other areas:
1. Prepare seedbed with a rotary tiller
2. Apply fertilizer and roll prior to seeding. For rolling, use either open grid type equipment or cultipacker type equipment modified by covering with expanded metal mesh.
3. Apply seed with gravity, cyclone, hydraulic, native grass seed drill with split rate application (no less than two passes).
4. Roll after application of seed.
5. Apply mulch (typically hydraulic mulch is used in urban situations).

7.16 NATIVE GRASS SEEDING
The suggested sequence for native grass seeding is:

- 1. Seedbed preparation and cultipacking will not be required. However, mowing may be required.
2. No fertilizer.
3. Apply seed with native grass seed drill with a no till attachment. Perform two passes with drill, with second pass being offset from first pass.
4. Place and tuck mulch - unless area contains rural stabilizing crop residue.

If the test information indicates noncompliance for purity and germination requirements, the seed may be used on a pure live seed (PLS) basis providing:
• Seed meeting the requirements cannot be obtained, and
• The seed meets the approval of the project engineer.

For each seed variety or mix, remove and retain at least one seed tag per day of seeding that was inspected. If the inspector is not onsite, then the contractor should collect and provide tags/tickets for the seed, fertilizer, and mulch applied so the inspector can verify quantities placed.

When seed is used on a pure live seed basis (PLS), the quantity required must be calculated from test results. If the project requires 10 pounds of Switchgrass PLS per acre, and the tag rated the furnished seed at 98% purity and 95% germination, the pure live seed is computed as follows:
Purity = 98% = 0.98
Germination = 95% = 0.95

PLS (Pure Live Seed) = Purity X Germination
= 0.98 X 0.95
= 0.93 = 93% PLS

To calculate the number of pounds of seed required to provide 10 pounds PLS:

10 pounds / 0.93 = 10.75 pounds of seed per acre

Sticking Agent
Seed to be inoculated shall be treated with a sticking agent prior to the application of the inoculant. A sticking agent is not required with liquid inoculant.

Inoculant
An inoculant is required for legume seed. An inoculant is a culture of bacteria specifically formulated to enhance the growth of the seed. The inoculant shall be a type recommended by the manufacturer and applied at the rate according to our specifications.

Red clover is an example of a legume that was previously specified in stabilizing crop seeding.

Seed Mixtures
Each bag shall have seed tags with information such as seed species, lot numbers, seed test date and seeding rate percentages (which is oftentimes shown as purity for the mixture).

For example:
Oat 47.5%
Grain Rye 46.5%
Canada wildrye 4.8%
Other 1.2%
A 50 pound bag of mixed seed would contain 23.75 pounds of Oat, 23.25 pounds of Grain rye, and 2.4 pounds of Canada wildrye.

The seed mixture reports should also include the project number, seed test information, and lot numbers.

7.17 OVERSEEDING AND FERTILIZING
Spring overseeding or "frost overseeding" is the application of permanent seed without preparing a seedbed. Spring overseeding is performed normally in February or March, but may be modified depending on the weather conditions.

The following guidelines should be used to determine when spring overseeding is allowed:

- Ground is relatively free of packed snow and ice.
• Light snow cover of not more than 1 inch.
• The project may be free of snow and ice with the exception of a few ditches or slope areas. It would be permissible to allow the overseeding with the stipulation that the contractor would reapply the seed on those designated ditches or slopes as soon as the snow and ice have melted.

The application of seed when the ground is loose and friable from frost action provides a favorable condition for the earliest possible seed establishment. The application of seed prior to this ideal condition is more favored than after the ground is free of frost and dry. Seed applied when the ground is frozen is not generally detrimental. The loss of seed due to runoff, in the event of heavy spring rains or snow melt, should be minor.

7.18 AERIAL SEEDING
Aerial seeding is only allowed when specified in the contract documents. The distribution of seed on the ground should be checked during the aerial seeding operation. If a significant quantity of seed falls onto the roadway shoulders or off of the right-of-way, the seeding operation should be halted, and corrective action taken. For aerial application, the wind velocity should be less than 10 mph.

As a guide, the following is a part of the Beaufort Scale for wind velocity:

Table with 3 columns: Type, Observations, Speed (mph). Rows include Calm, Light air, Light breeze, Gentle breeze, Moderate breeze, Fresh breeze.

A subcontract request form is not required for the aerial applicator (airplane or helicopter), which is usually owner-operated.

Guidelines to allow/disallow use of local roads for takeoff and landing of planes which seed areas on primary projects are:

- Primary roads or local roads designated as detours shall not be used for takeoff/landing
• Takeoff/landing should be with written permission of the county engineer or local agency and with traffic control and signing as required by the owner of the road

The Department is not obligated to purchase remaining amounts of premixed seed as "unincorporated material."

7.13 RURAL SEEDING
The following suggested sequence of operations for temporary rural seeding (also called rural stabilizing crop seeding) is as follows:

- 1. Prepare seedbed (except for stockpiles where areas are not accessible to field equipment)
2. Apply fertilizer and roll prior to seeding
3. Apply seed with gravity, cyclone, hydraulic, native grass seed drill with split rate application (no less than two passes).
4. Cover seeding and fertilizing with a light disking or other tillage equipment such as a rigid harrow, spring tooth harrow, or field cultivator.
5. Follow tillage with a cultipacker.
6. Apply mulch.
7. Tuck mulch with mulch anchoring equipment

The following suggested sequence of operations for permanent rural seeding when seedbed preparation is required by the specifications is as follows:

- 1. Prepare seedbed
2. Disk in fertilizer and roll the area prior to application of permanent seed.
3. Apply seed using drop seeder (with pulverizer rollers and packer wheels) with split rate application (no less than two passes).
4. Apply mulch.
5. Tuck mulch with mulch anchoring equipment

The following suggested sequence of operations for permanent rural seeding when seedbed preparation is not required by the specifications is as follows:

- 1. Seedbed preparation is not required.
2. Apply fertilizer (but no disking).
3. Apply seed with slit seeder or with native grass seed drill with a no till attachment with split rate application (no less than two passes).
4. Roll after application of seed.

7.14 HYDRO-SEEDING (HYDRAULIC SEEDING)
The suggested sequence of operations using a hydro-seeder is:
1. Prepare seedbed
2. Apply fertilizer, seed, inoculant, and water with hydro-seeder
3. Roll with cultipacker
4. Place mulch where specified
5. Tuck mulch with mulch anchoring equipment (step not required if hydro-mulch is used)

The following items should be noted when inspecting hydro-seeding:

A fanning motion or horizontal motion of the seeding nozzle insures uniform application of the seed. Do not use an "up and down" motion; it results in seed application too heavy near the seeder and too thin at the far reach of the spray.

The seeder tank must be cleaned when changing seed mixtures.

The agitator in the seeder tank must be in operation for a period of time prior to starting the seeding to insure mixing of the material in the tank. After mixing and

- The owner of the road may, at their discretion, ask the applicator for:
-- A "waive and hold harmless" agreement to reduce liability
-- Proof of insurance
• Federal Aviation Regulations (FAR) are listed in Title 14 of the U.S. Code of Federal Regulations. They are available to view at Web address:
https://www.faa.gov/regulations\_policies/faa\_regulations/

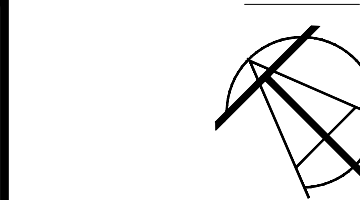
Applicable regulations are "FAR Part 91 - General Operating and Flight Rules" and "FAR Part 137 - Agricultural Aircraft Operations".

OWNER

DEVELOPER



ENGINEER



CONTRACTOR



NOTES



SHEET TITLE
GRADING, EROSION, & SEDIMENTATION CONTROL NOTES

FILE NAME/SEGMENT ID
MRTWIADN

JOB TITLE
FIBER OPTIC AND POWER CONDUIT INSTALLATION FOR PRE-FAB SHELTER 3202 S. 6TH ST. JURISDICTION: MARSHALLTOWN, IA

PROJECT MANAGER
JAMES D. NORTON

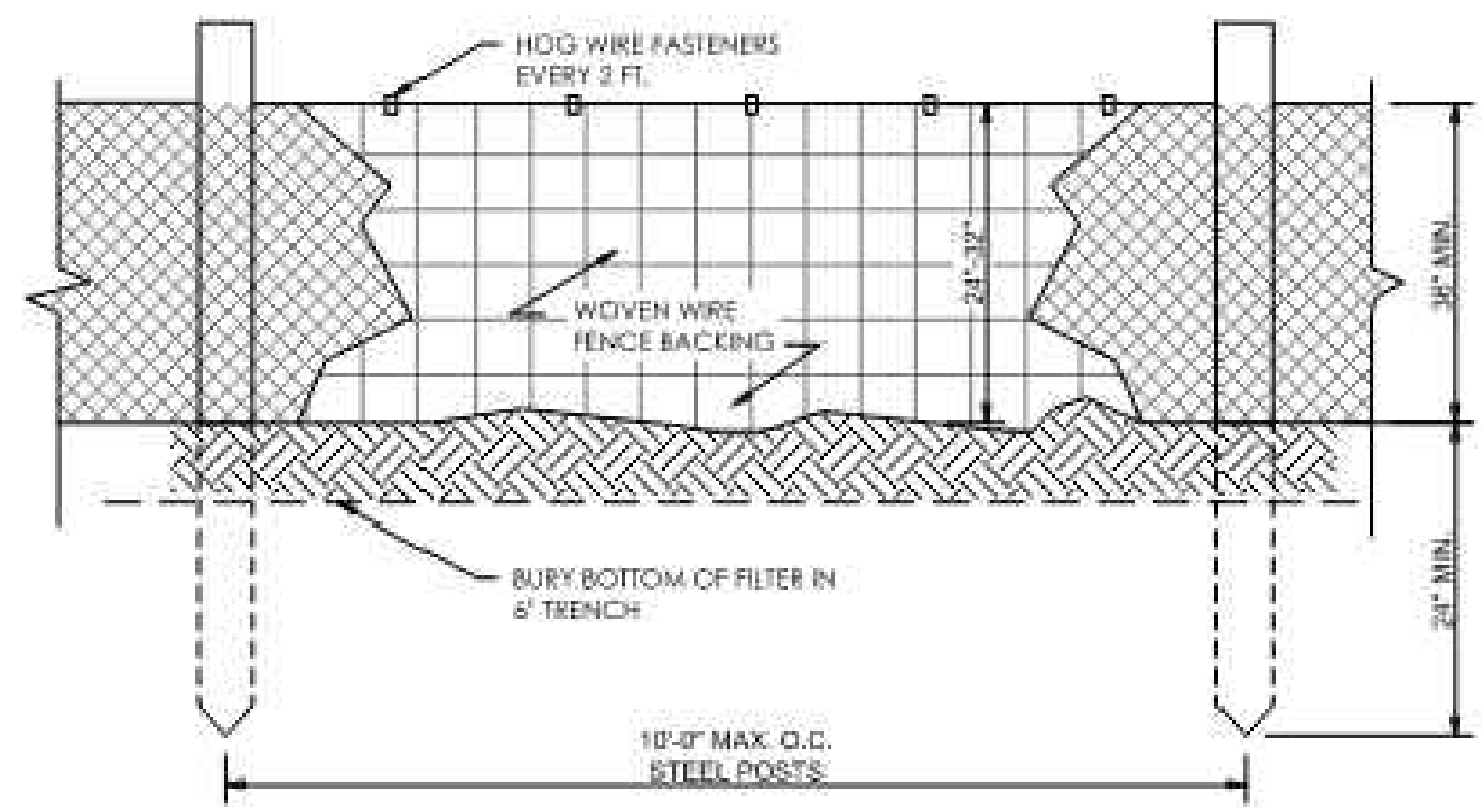
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Table with 3 columns: DATE CREATED, PAPER SIZE, SCALE. Values: 10/29/2024, 22" X 34", N.T.S.

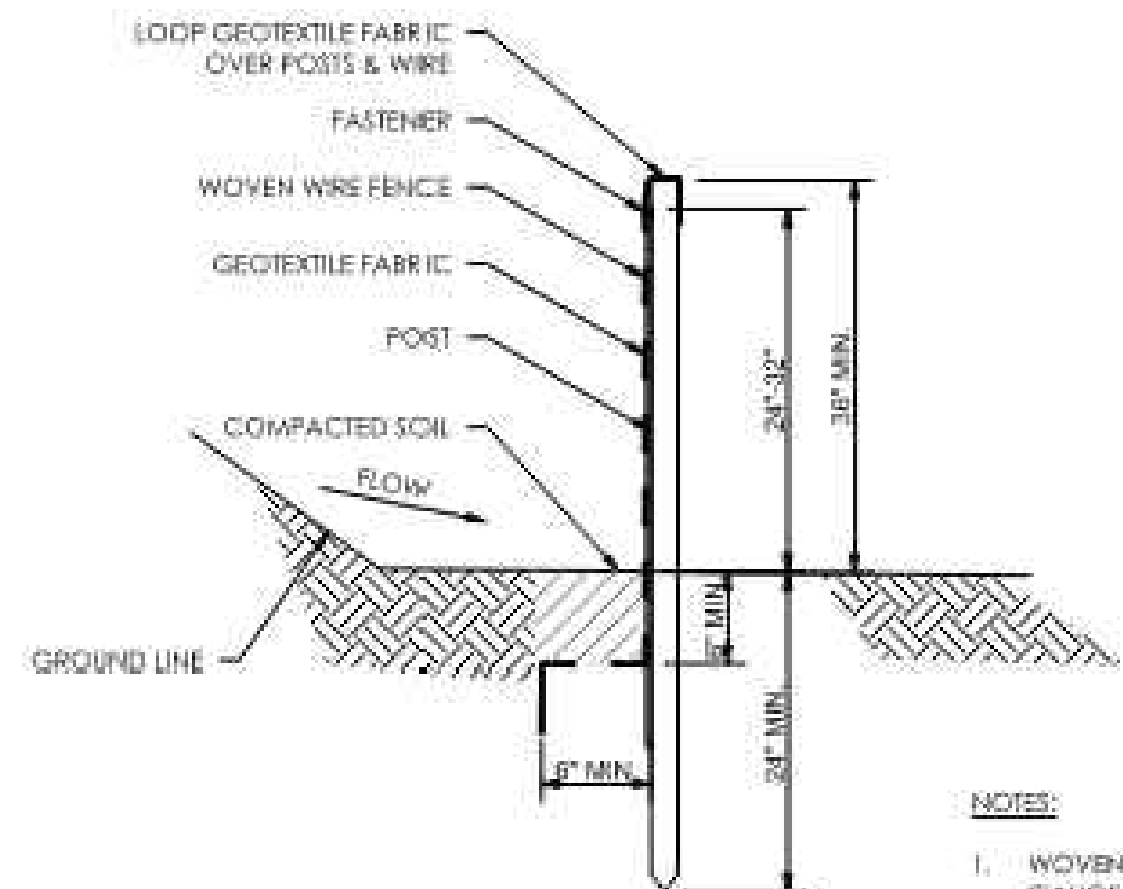
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SHEET: 9 OF 28

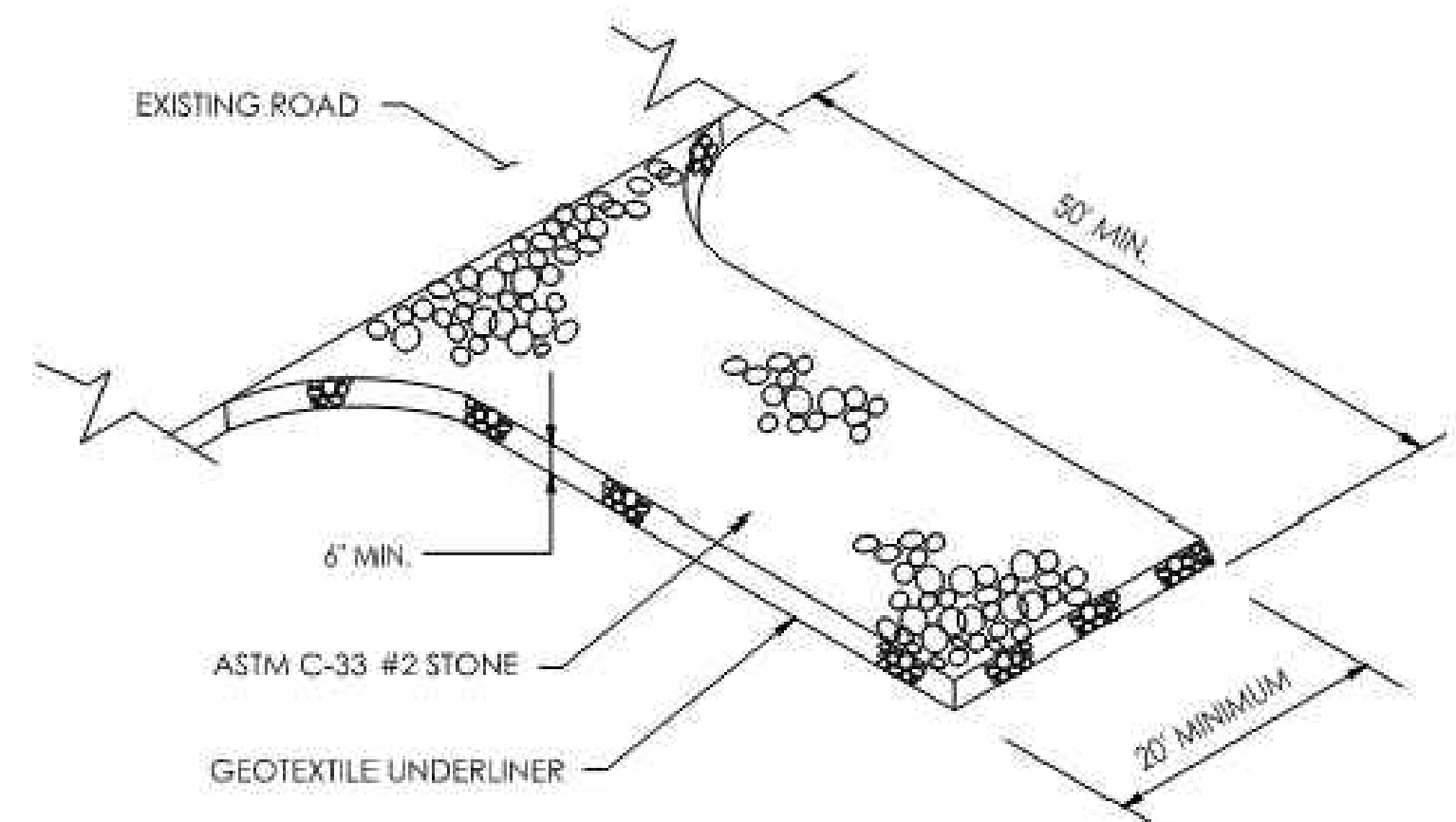


NOTE: AASHTO M 288 RECOMMENDS A 4 FT. POST SPACING.

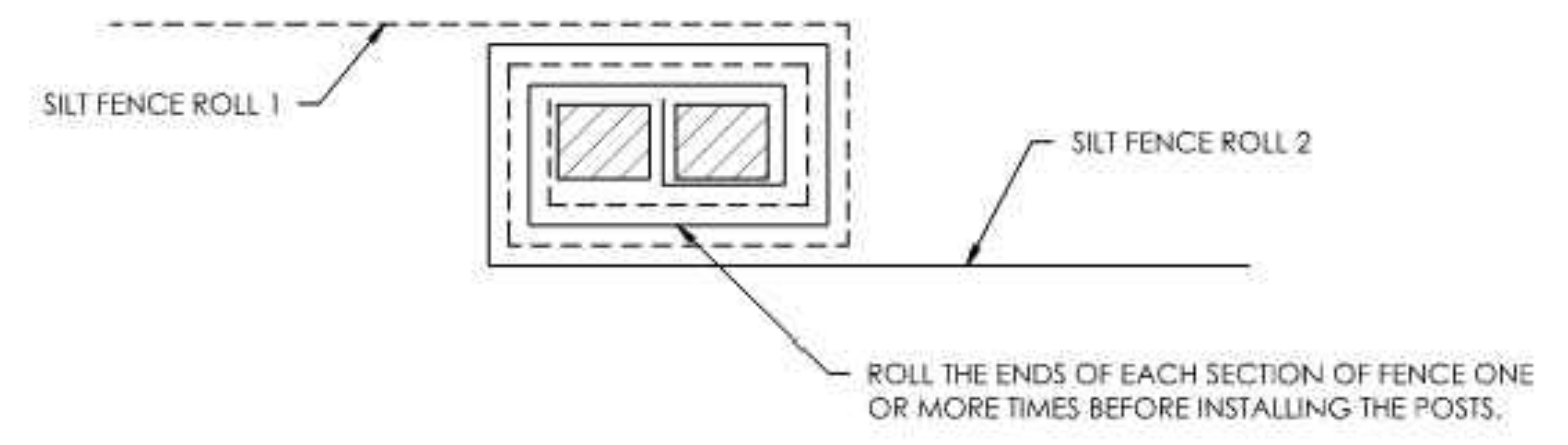


**SILT FENCE, TYPE-A**  
NOT TO SCALE

- NOTES:
1. WOVEN WIRE FENCE SHALL BE A MINIMUM 14 GAUGE, 6"x6" (ALDOT ALLOWS UP TO 12" HORIZONTAL SPACING)
  2. THE WOVEN WIRE FENCING SHALL BE FASTENED TO THE UPSTREAM SIDE OF POSTS BY STAPLES OR WIRE TIES.
  3. GEOTEXTILE FABRIC SHALL BE SECURELY FASTENED TO THE WOVEN WIRE FENCING.
  4. MACHINE TRENCHED GEOTEXTILE SHALL BE TRENCHED VERTICAL AT LEAST 8' DEEP.

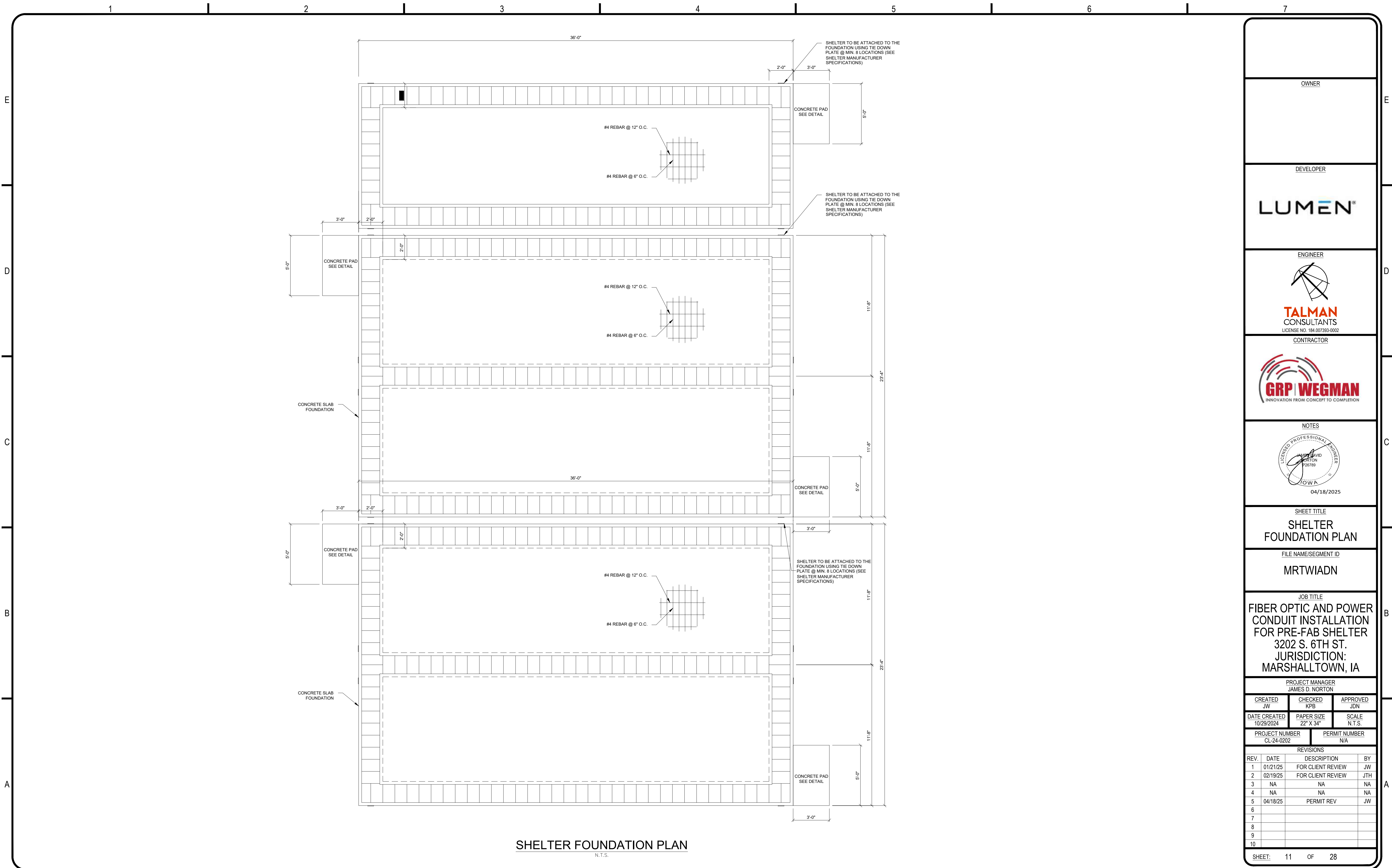


**CONSTRUCTION EXIT**  
NOT TO SCALE



**ROLL JOINT FOR JOINING TWO ADJACENT SILT FENCE SECTIONS**  
NOT TO SCALE

OWNER			
DEVELOPER			
<b>LUMEN</b>			
ENGINEER			
 <b>TALMAN CONSULTANTS</b> <small>LICENSE NO. 184.007393-0002</small>			
CONTRACTOR			
 <b>GRP WEGMAN</b> <small>INNOVATION FROM CONCEPT TO COMPLETION</small>			
NOTES			
 <small>04/18/2025</small>			
SHEET TITLE			
<b>GRADING, EROSION, &amp; SEDIMENTATION CONTROL DETAILS</b>			
FILE NAME/SEGMENT ID			
<b>MRTWIADN</b>			
JOB TITLE			
<b>FIBER OPTIC AND POWER CONDUIT INSTALLATION FOR PRE-FAB SHELTER 3202 S. 6TH ST. JURISDICTION: MARSHALLTOWN, IA</b>			
PROJECT MANAGER			
JAMES D. NORTON			
CREATED	CHECKED	APPROVED	
JW	KPB	JDN	
DATE CREATED	PAPER SIZE	SCALE	
10/29/2024	22" X 34"	N.T.S.	
PROJECT NUMBER	PERMIT NUMBER		
CL-24-0202	N/A		
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5	04/18/25	PERMIT REV	JW
6			
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SHEET: 10 OF 28			



OWNER

DEVELOPER

**LUMEN**

ENGINEER



CONTRACTOR



NOTES



SHEET TITLE

**SHELTER FOUNDATION PLAN**

FILE NAME/SEGMENT ID

**MRTWIADN**

JOB TITLE

**FIBER OPTIC AND POWER CONDUIT INSTALLATION FOR PRE-FAB SHELTER  
3202 S. 6TH ST.  
JURISDICTION:  
MARSHALLTOWN, IA**

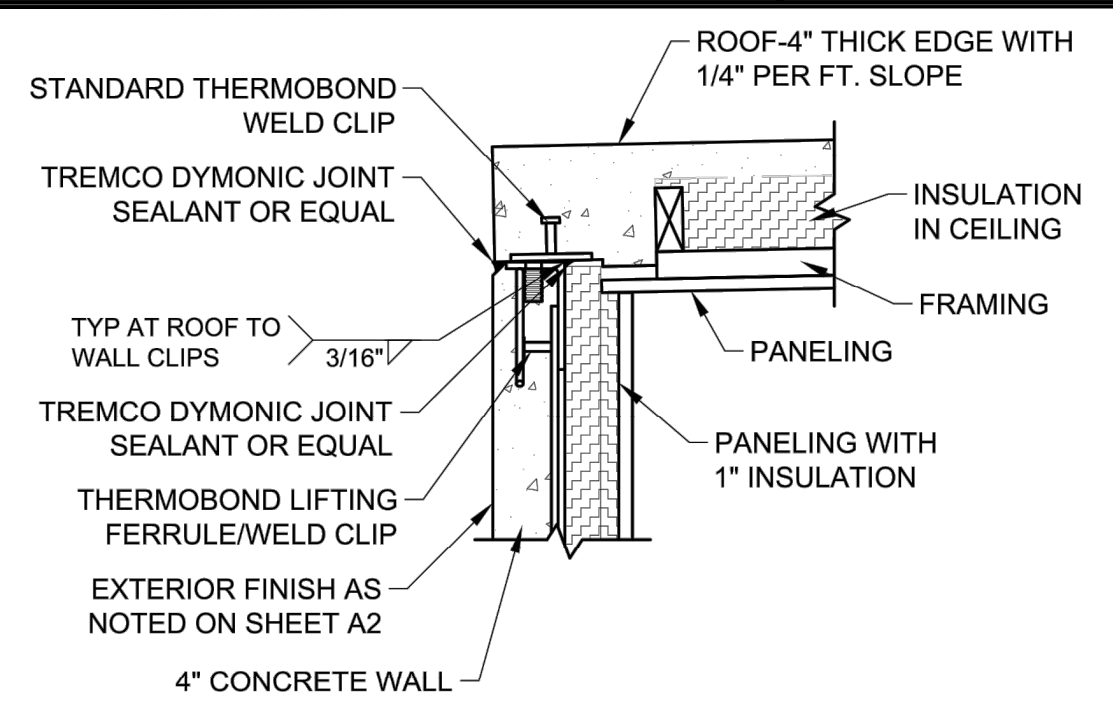
PROJECT MANAGER  
JAMES D. NORTON

CREATED JW	CHECKED KPB	APPROVED JDN
DATE CREATED 10/29/2024	PAPER SIZE 22" X 34"	SCALE N.T.S.

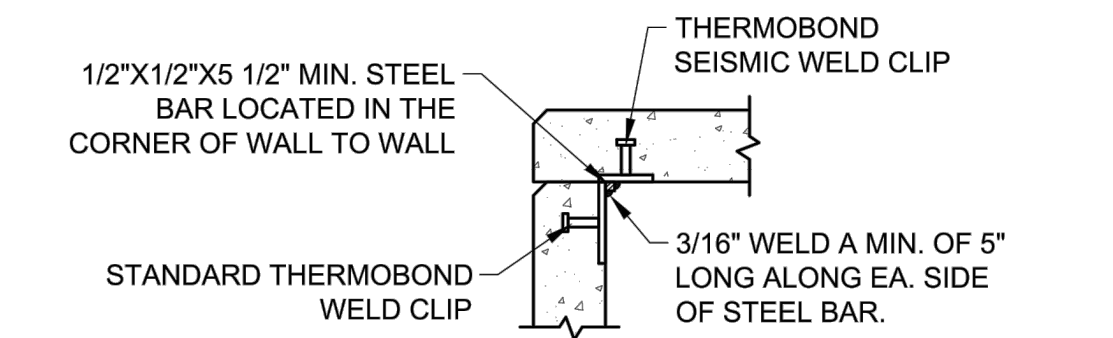
PROJECT NUMBER CL-24-0202	PERMIT NUMBER N/A
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REVISIONS			
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5	04/18/25	PERMIT REV	JW
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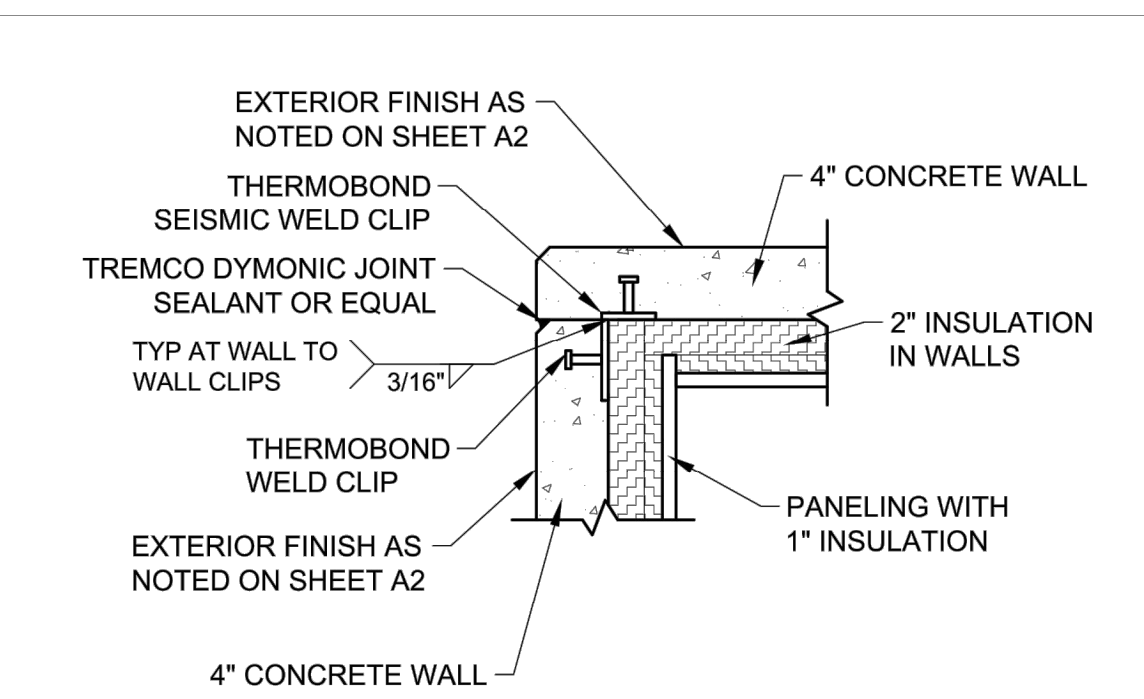
SHEET: 11 OF 28



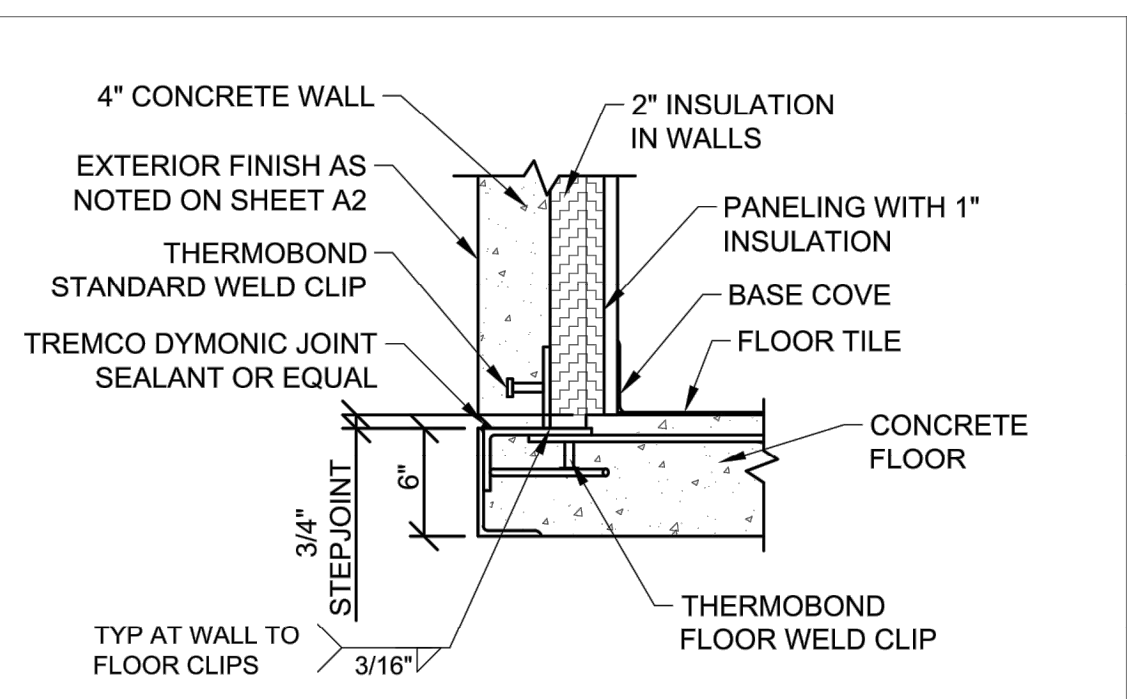
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SCALE: 3/4" = 1'-0"



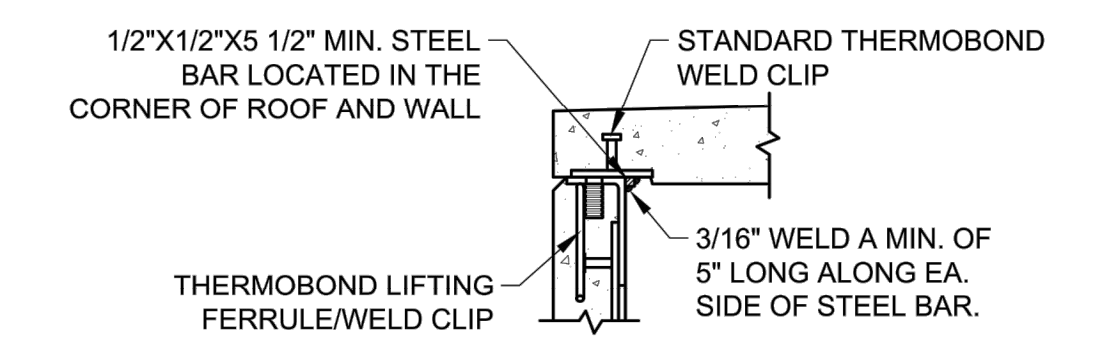
**5 WALL TO WALL WELD**  
SCALE: 3/4" = 1'-0"



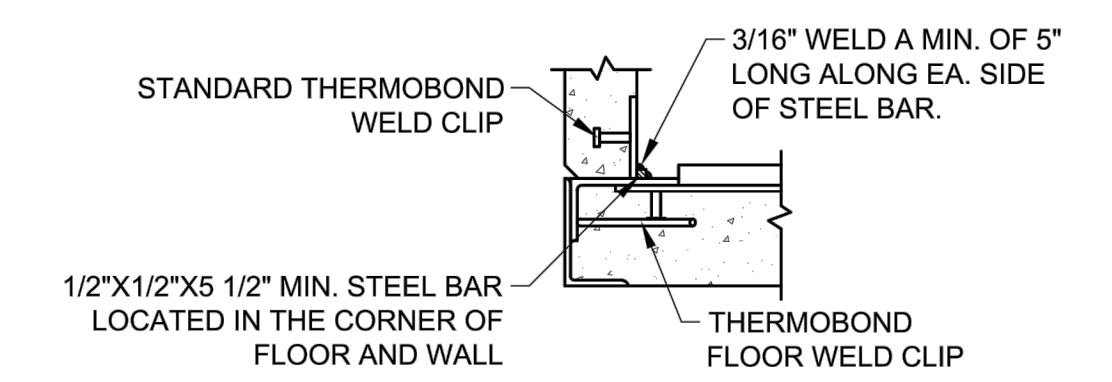
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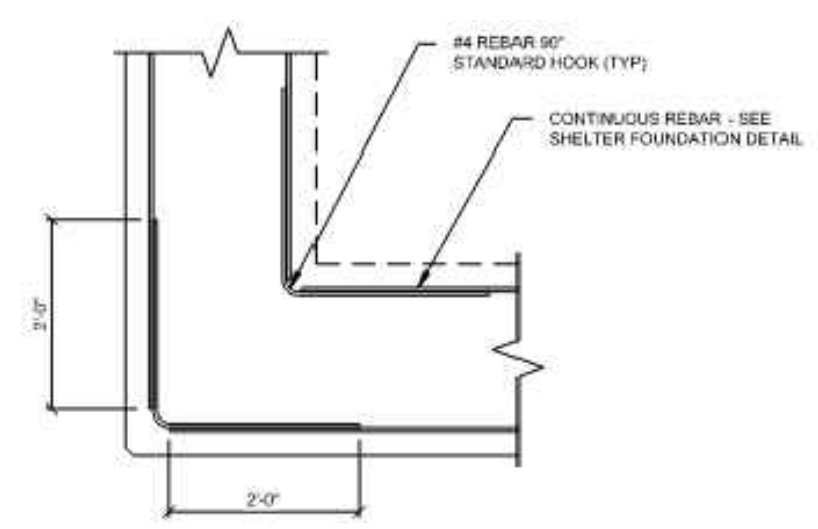
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SCALE: 3/4" = 1'-0"



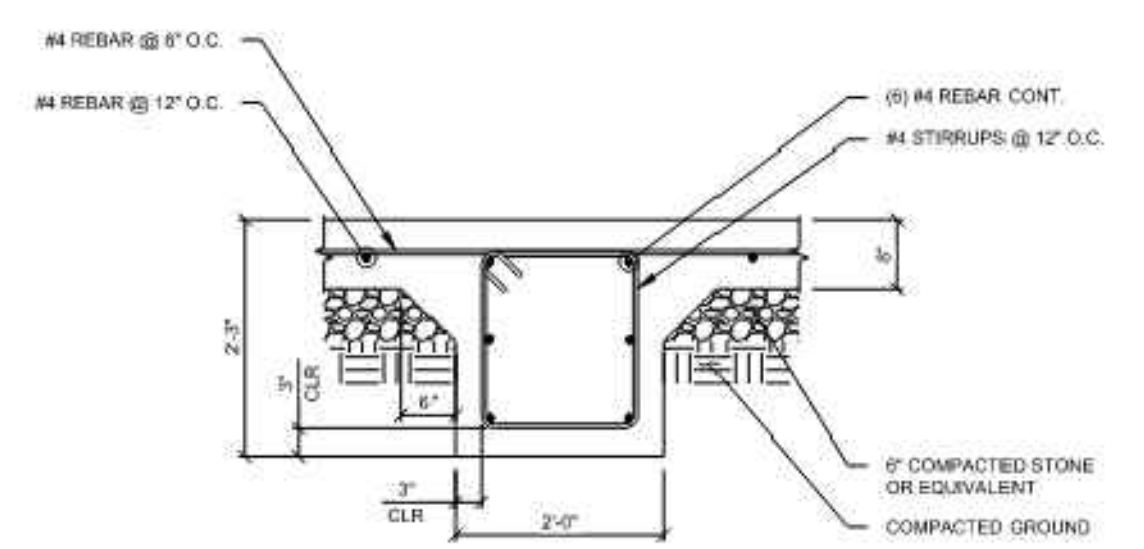
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SCALE: 3/4" = 1'-0"



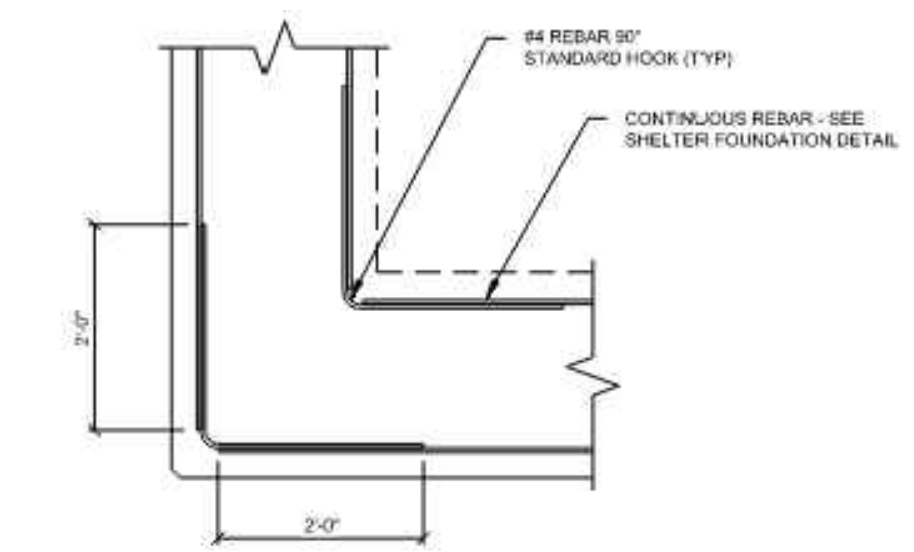
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SCALE: 3/4" = 1'-0"



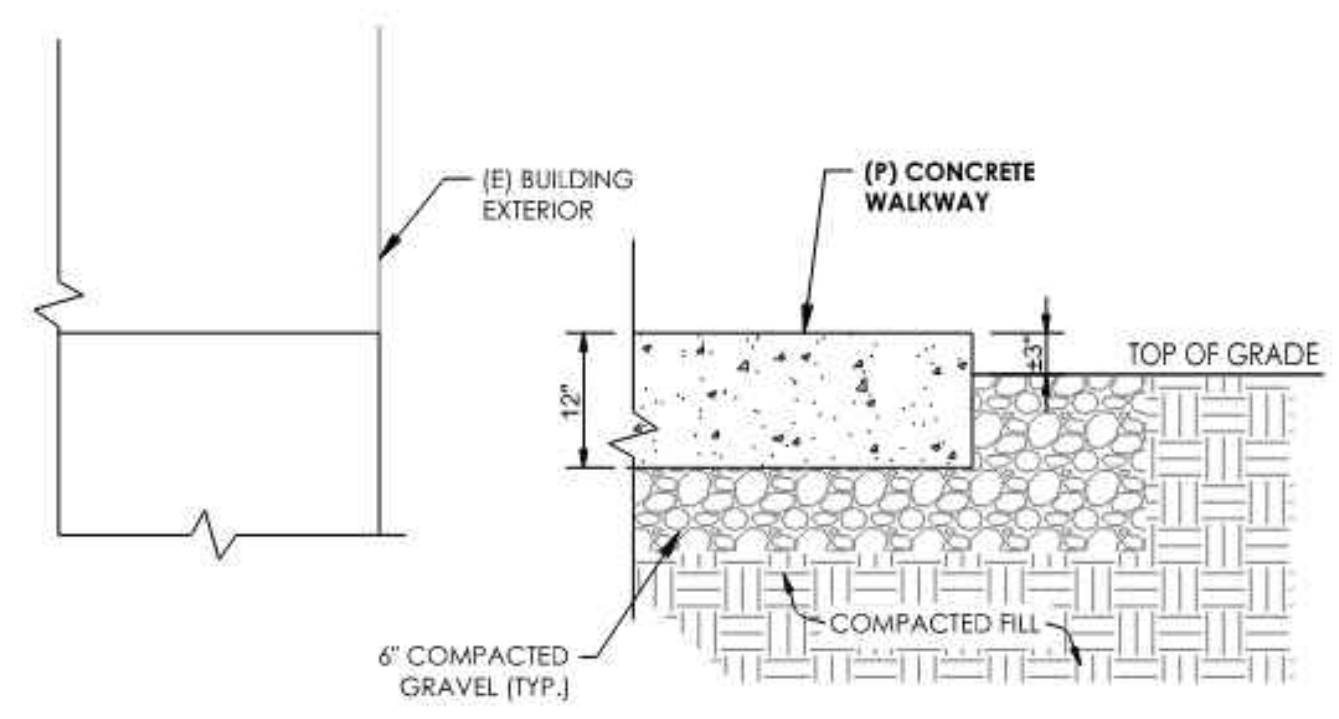
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N.T.S.



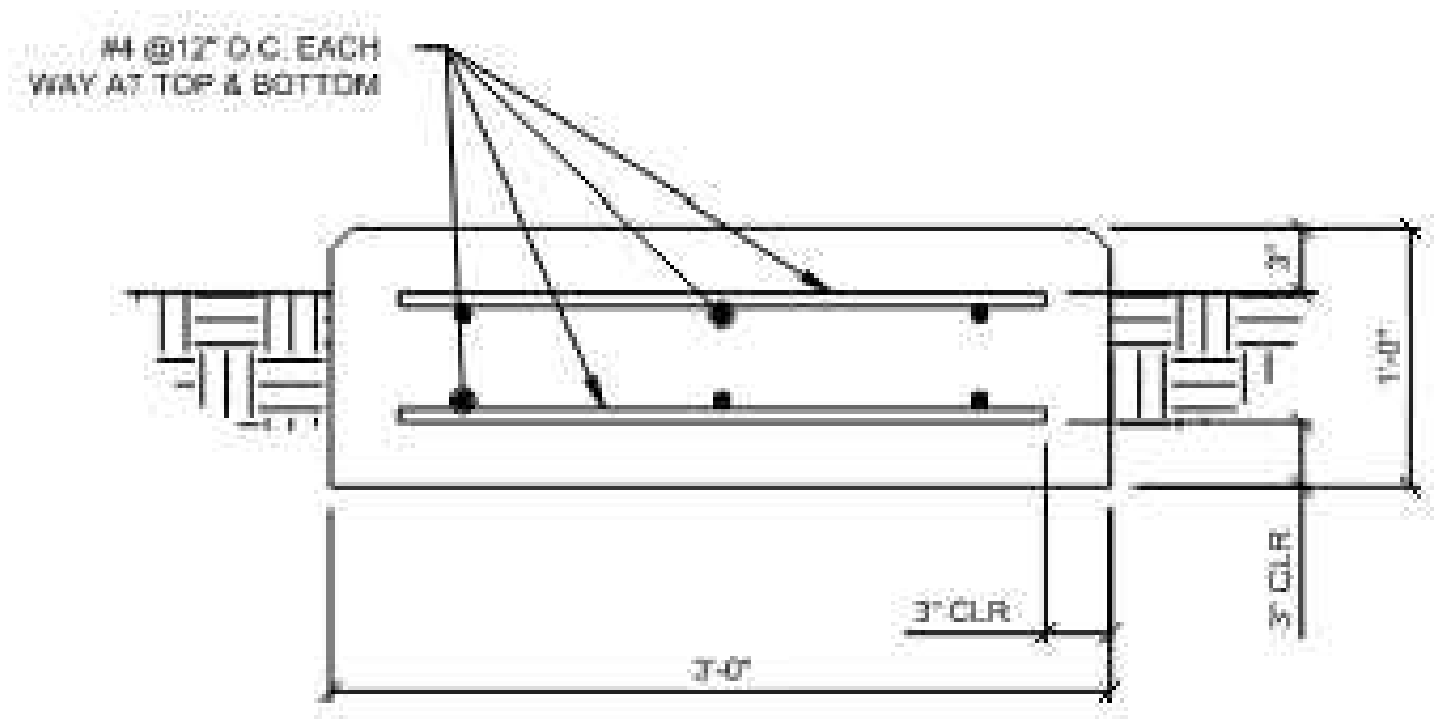
**SHELTER CENTER FOOTING DETAIL**  
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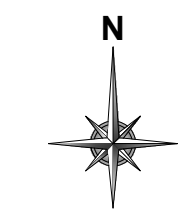
**SHELTER PERIMETER FOOTING DETAIL**  
N.T.S.



**CONCRETE WALKWAY DETAIL**  
N.T.S.



**CONCRETE PAD DETAIL**  
N.T.S.

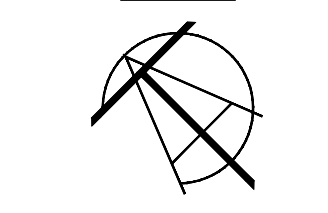


OWNER

DEVELOPER

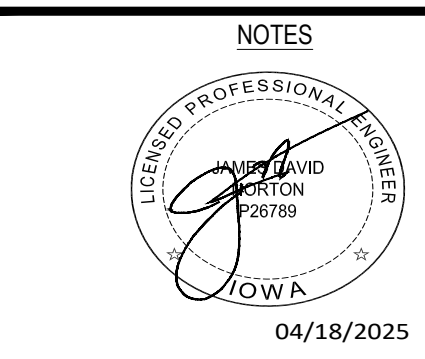
**LUMEN**

ENGINEER



**TALMAN CONSULTANTS**  
LICENSE NO. 184.007393-0002

CONTRACTOR



SHEET TITLE

**STANDARD CONSTRUCTION DETAILS**

FILE NAME/SEGMENT ID

**MRTWIADN**

JOB TITLE

**FIBER OPTIC AND POWER CONDUIT INSTALLATION FOR PRE-FAB SHELTER  
3202 S. 6TH ST.  
JURISDICTION:  
MARSHALLTOWN, IA**

PROJECT MANAGER  
JAMES D. NORTON

CREATED JW	CHECKED KPB	APPROVED JDN
DATE CREATED 10/29/2024	PAPER SIZE 22" X 34"	SCALE N.T.S.

PROJECT NUMBER CL-24-0202	PERMIT NUMBER N/A
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SHEET: 12 OF 28

# MARSHALLTOWN

I O W A

HOUSING & COMMUNITY DEVELOPMENT

Deb Millizer, Director  
 Clayton Ender, Assistant Director  
 24 North Center Street  
 Marshalltown, IA 50158-4911  
 Tel - (641) 754-5756  
 Fax - (641) 754-5717

**TO:** Board of Adjustment  
**FROM:** Clayton Ender, Assistant Housing & Community Development Director  
**DATE:** June 26<sup>th</sup>, 2025  
**RE:** Consider Approval of a Special Use Permit Application for 402 N 10<sup>th</sup> Avenue

<b>City Staff Contact:</b>	Clayton Ender, AICP Assistant Director of Housing and Community Development Phone: 641-754-5756 Email: cender@marshalltown-ia.gov
<b>Applicant:</b>	Swift & Company 1770 Promontory Cir Greely CO 80634
<b>Property Owner:</b>	Swift Pork Company 1770 Promontory Cir Greely CO 80634
<b>Recommendation:</b>	<p><b>The Planning and Zoning Commission recommends approval of the special use permit application for 402 N 10<sup>th</sup> Avenue, JBS Distribution Center Expansion subject to the following conditions:</b></p> <ol style="list-style-type: none"> <li>1. Prior to consideration of this special use permit application by the Board of Adjustment the in-progress rezoning of 301 to 319 N 10<sup>th</sup> Avenue (proposed stormwater detention basin) shall be successfully completed.</li> <li>2. <b>Prior to issuance of a building permit the following items shall be completed:</b> <ol style="list-style-type: none"> <li>a. The detention basin easement area shall be placed within a stormwater detention and overland flowage easement for the benefit of the main JBS campus.</li> <li>b. Document compliance with off-street parking and off-street loading requirements.</li> </ol> </li> </ol>

**CITY COUNCIL**  
 Melisa Fonseca, Barry Kell, Mike Ladehoff,  
 Mark Mitchell, Greg Nichols, Jeff Schneider, Gary Thompson



- c. Install sidewalk adjacent to the development site along Lee Street and Woodbury Street. Alternatively seek approval of a sidewalk deferment application.
- d. Identify the proposed fence height and location.
- e. Increase variety of understory trees along NE lot's eastern buffer.
- f. Update landscaping plans to identify all required new plant materials.

**STAFF COMMENTARY REGARDING CONDITION #1:** Ordinance 15100 which rezoned the area for the stormwater detention basin has been fully approved by the City Council.

**STAFF COMMENTARY REGARDING CONDITION #2:** All site plan revisions have been completed with the exception of the proposed fence height and location. See the conditions section of the Board of Adjustment Motion for further clarification on direction in regards to fence height and location.

<p><b>Current Zoning District &amp; Current Usage:</b></p>	<p>Current Zoning: GI, General Industrial Zoning District</p> <p>*Note: The location of the proposed stormwater detention basin is in the process of being rezoned from RM to GI. Rezoning will need to be complete prior to consideration by the Board of Adjustment</p> <p>Current Usage: Warehousing, Single-unit dwellings, and vacant parcels</p> <p>Current Usage: Warehouse, Single Unit Dwellings, and Vacant Residential Lots</p> <p>*Note: The location of the proposed stormwater detention basin is currently utilized for single-unit dwellings and vacant residential lots. This area is expected to be demolished to allow for construction of a new stormwater detention basin.</p>
<p><b>Proposed Zoning District &amp; Proposed Usage:</b></p>	<p>Zoning: GI, General Industrial Zoning District</p> <p>Proposed Usage: Warehouse and stormwater management facilities</p>
<p><b>Review Criteria:</b></p>	<p>In determining whether to approve, approve with conditions, or deny a special use permit, the review bodies shall consider the following review criteria:</p> <ol style="list-style-type: none"> <li>1. <b>The request complies with the applicable standards of this Zoning Ordinance, the City Code of Ordinances, and any applicable county, state, or federal requirements.</b></li> </ol>

**CITY COUNCIL**

Melisa Fonseca, Barry Kell, Mike Ladehoff,  
Mark Mitchell, Greg Nichols, Jeff Schneider, Gary Thompson



The proposed site plan will need updated to document compliance with applicable city codes. See the recommendation section of this staff report for full list of items needing addressed.

- 2. The request substantially conforms to any associated prior approval for the development, including, but not limited to, a special use permit, Master Development Plan, or Site Plan.**

The proposed development does not conflict with any prior approvals.

- 3. The administrative body has considered the recommendation of staff.**

Staff recommends approval of the special use permit application as outlined in the recommendation section of this staff report.

- 4. The request is consistent with applicable policies of the Comprehensive Plan and applicable utility plans and capital improvements plans; or, if it addresses a topic that is not contained or not fully developed in the Comprehensive Plan, the request does not impair the implementation of the Comprehensive Plan.**

The comprehensive plan identifies the future land use designation for the area of the development site located west of N 10<sup>th</sup> Avenue as heavy industrial and the area east of N 10<sup>th</sup> Avenue as low density residential.

Heavy Industrial is defined as, “Industrial related businesses including manufacturing, warehousing, automotive, trucking, rail, office and other related industrial uses.”

Low Density Residential is defined as, “Single-family detached and two-family residential development at a density of 4-6 units per acre.”

The development site is further identified within focus area #3 of the land use chapter of the comprehensive plan. This focus area further refines the future land use of the area west of N 10<sup>th</sup> Avenue as continued operation and expansion of the JBS Swift Plant and those areas east of N 10<sup>th</sup> Avenue as “significant open space / park buffer”.

The proposed usage of the development site is consistent with the comprehensive plan.

**CITY COUNCIL**

Melisa Fonseca, Barry Kell, Mike Ladehoff,  
Mark Mitchell, Greg Nichols, Jeff Schneider, Gary Thompson



- 5. The request promotes the purposes of this Zoning Ordinance as established in § 156.A.002, Purposes, and in other applicable purpose statements in this chapter.**

§ 156.A.002(C)(1) “Encourage a diverse and stable economy with employment opportunities, particularly those that have meaningful multiplier effects in the local economy, by promoting the vitality and development of commercial and industrial districts”

§ 156.A.002(C)(2) “Enable and encourage entrepreneurship and local business growth”

§ 156.A.002(C)(3) “Enable retention and sensitive expansion of local businesses.”

- 6. Adequate facilities, including public or private utilities, solid waste service, roads, drainage, and other improvements are present or are planned to be provided.**

The subject property has adequate access to existing public streets, water, sanitary sewer, storm sewer and other utilities.

- 7. The request demonstrates compatibility with surrounding conforming and permitted land uses and structures and with the general character of the area.**

Land uses to the east, south, and west include residential dwellings and vacant residential zoned lots. Land uses to the north include additional areas of the JBS Swift campus.

The proposed usage of the subject properties for warehouse expansion and stormwater management facilities, which would be designed to support expansion of JBS Swift & Co’s main campus, is compatible with all surrounding uses.

- 8. The special use does not create an unwanted concentration of similar special uses that is likely to discourage permitted uses by making the vicinity less desirable for them.**

The proposed development is intended to address distribution at the JBS Swift campus. The proposed development does not increase area for meat production.

**CITY COUNCIL**

Melisa Fonseca, Barry Kell, Mike Ladehoff,  
Mark Mitchell, Greg Nichols, Jeff Schneider, Gary Thompson



In the opinion of staff the proposed development will not discourage permitted uses in the area by making the area less desirable.

**9. There is no practicable alternative location where the use is permitted by right within the general vicinity of the parcel proposed for development, or, if such a location exists, the proposed location is comparable or more favorable in terms of:**

- **Providing a needed community service;**
- **Providing a critical mass of related and mutually supportive land uses that promote quality economic development and opportunity;**
- **Providing a balance of land uses, ensuring that appropriate supporting activities, such as employment, housing, leisure-time, and retail centers are in close proximity to one another; and**
- **Making more efficient use of public infrastructure.**

Because this proposal is for a facility expansion rather than a new facility all together the location in which expansion would occur is pre-defined by the location of the existing facility. Because the facility is already located in this location there is no practical alternative for development other than the general vicinity in which the development is proposed.

**Attachments:**

Finding of Facts Report  
Aerial Vicinity Map  
JBS Distribution Center Expansion Site Plan

**CITY COUNCIL**

Melisa Fonseca, Barry Kell, Mike Ladehoff,  
Mark Mitchell, Greg Nichols, Jeff Schneider, Gary Thompson



**Board of Adjustment Finding of Fact Report**

<b>Meeting Date:</b> 6/26/2025	<b>Application Type:</b> HEAVY INDUSTRIAL SPECIAL USE PERMIT & STORMWATER MANAGEMENT FACILITIES SPECIAL USE PERMIT
<b>Zoning District:</b> GI, General Industrial (with and without zoning conditions, See Ordinance 15100)	<b>Comp. plan designation:</b> INDUSTRIAL & LOW DENSITY RESIDENTIAL
<b>Property Address:</b> 402 N 10 <sup>th</sup> Ave	
<b>Property Owner:</b> SWIFT PORK COMPANY 1770 PROMONTORY CIR GREELY CO 80634	
<b>Applicant (if different than owner):</b> N/A	

Request Description

Swift Pork Company has submitted a special use permit application for warehouse/distribution center expansion and stormwater detention basin construction for the JBS Swift plant located at 402 N 10<sup>th</sup> Avenue, Marshalltown, IA, 50158. Expansion of a heavy industrial use requires a special use permit.

Plan Zoning Commission Recommendation

**The Planning and Zoning Commission met on May 15, 2025 and recommended approval of the special use permit application for 402 N 10<sup>th</sup> Avenue, JBS Distribution Center Expansion subject to the following conditions:**

1. Prior to consideration of this special use permit application by the Board of Adjustment the in-progress rezoning of 301 to 319 N 10<sup>th</sup> Avenue (proposed stormwater detention basin) shall be successfully completed.
2. **Prior to issuance of a building permit the following items shall be completed:**
  - a. The detention basin easement area shall be placed within a stormwater detention and overland flowage easement for the benefit of the main JBS campus.
  - b. Document compliance with off-street parking and off-street loading requirements.
  - c. Install sidewalk adjacent to the development site along Lee Street and Woodbury Street. Alternatively seek approval of a sidewalk deferment application.
  - d. Identify the proposed fence height and location.

- e. Increase variety of understory trees along NE lot's eastern buffer.
- f. Update landscaping plans to identify all required new plant materials.

**STAFF COMMENTARY REGARDING CONDITION #1:** Ordinance 15100 which rezoned the area for the stormwater detention basin has been fully approved by the City Council.

**STAFF COMMENTARY REGARDING CONDITION #2:** All site plan revisions have been completed with the exception of the proposed fence height and location. See the conditions section of the Board of Adjustment Motion for further clarification on direction in regards to fence height and location.

New Information introduced for consideration

Findings of Fact (Answer yes or no to each item and provide reasoning if necessary)

YES	NO	Finding Description
		Does the Home Occupation Special Use requested comply with the listed criteria? <i>Reasoning:</i> Vote result if applicable: _____ Yes _____ No
		➤ Will there be exterior display (except allowable sign)? Vote result if applicable: _____ Yes _____ No
		➤ Will the building maintain residential design features? Vote result if applicable: _____ Yes _____ No
		➤ Will the residential character of the neighborhood be maintained? Vote result if applicable: _____ Yes _____ No
		➤ Is the proposed signage limited to one building mounted sign (1 s.f. max)? Vote result if applicable: _____ Yes _____ No
		➤ Will all equipment/merchandise be stored inside: Vote result if applicable: _____ Yes _____ No
		➤ Will there be employees? If yes are they residents of the home or is the Board granting approval? Vote result if applicable: _____ Yes _____ No
		➤ Is the traffic and parking need addressed so to not objectionable to neighbors? Is there adequate parking available on site? Vote result if applicable: _____ Yes _____ No
		➤ Structural modification or additions to the residence for expansion of the home occupation are prohibited, are there planned changes? Vote result if applicable: _____ Yes _____ No

Based on the Findings of Fact the following action occurred:

Motion by \_\_\_\_\_ to APPROVE the request as submitted with the following conditions:

1. The proposed fence surrounding the detention basin, which is to be located on the east side of N 10<sup>th</sup> Avenue between Lee Street and Woodbury Street, shall comply with the following height and location requirements. These regulations may be varied without the need for a modified special use permit to the extent that such a variance is applied for and approved by the Board of Adjustment. This condition is not to be interpreted as guaranteed approval of a variance application as all standard procedures and requirements for a variance are to be complied with.
  - a. Along Woodbury Street fence height shall not exceed four feet above grade between the property line and the front yard setback requirement of thirty (30) feet.
  - b. Along N 10<sup>th</sup> Avenue fence height shall not exceed four feet above grade between the property line and the side street yard setback requirement of fifteen (15) feet.
  - c. Along the alleyway (side yard) and along Lee Street (rear yard) fence height shall not exceed eight feet above grade. In these locations fence height may utilize a zero (0) foot setback.
  - d. Within any required vision triangle fence height shall not exceed a height of 2 ½ feet above grade.

Second by \_\_\_\_\_

Vote results:

Name:	YES	NO	Abstain	Comment
<i>EATON</i>				
<i>ENGLE</i>				
<i>HOGAN</i>				
<i>SCHULZE</i>				
<i>THURSTON</i>				

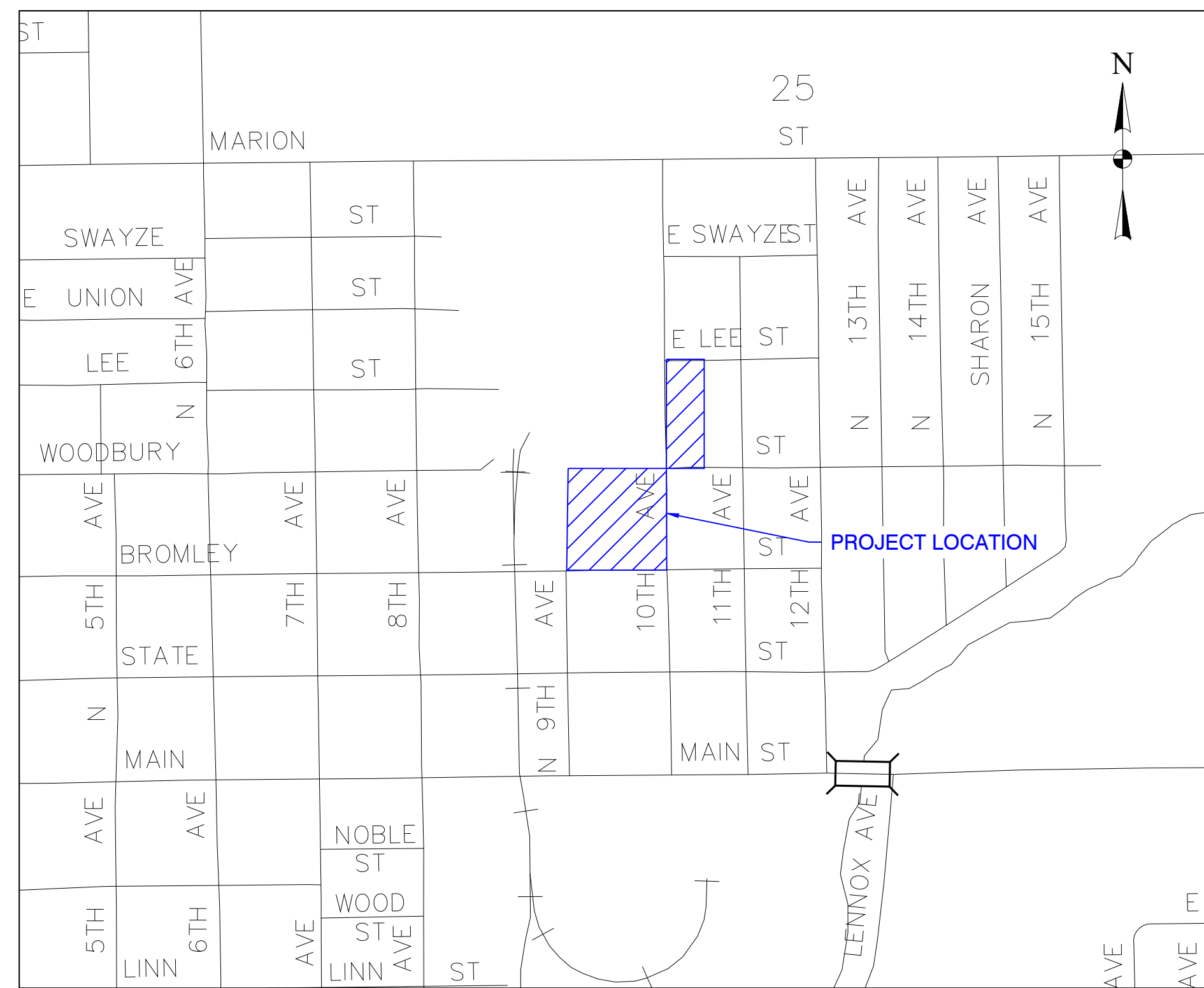
Aerial Vicinity Map



# JBS DISTRIBUTION EXPANSION MARSHALLTOWN, IOWA 2025

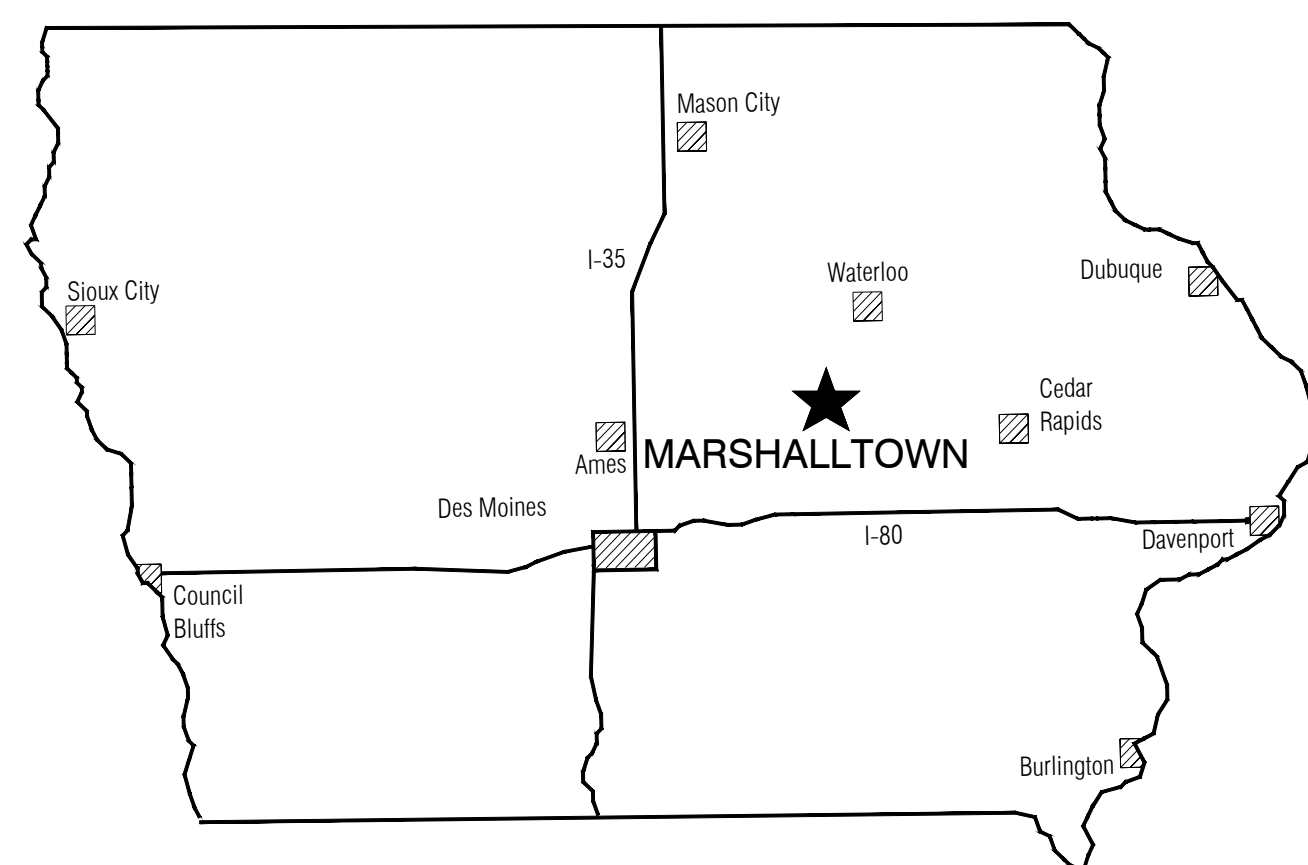
## GRADING, PAVING, BUILDING CONSTRUCTION

WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH  
THE IOWA STATEWIDE URBAN STANDARD  
SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, 2025  
EDITION (SUDAS) AND THE CITY OF MARSHALLTOWN  
SUPPLEMENTAL SPECIFICATIONS



**VICINITY MAP**  
NOT TO SCALE

SHEET NO.	INDEX OF SHEETS DESCRIPTION
C.100	TITLE SHEET
C.102	SYMBOLS, LEGEND AND GENERAL INFORMATION
C.110	EXISTING CONDITIONS AND DEMOLITION PLAN
C.200	OVERALL LAYOUT
C.210	OVERALL UTILITY PLAN
C.211	STORM SEWER PLAN AND PROFILE
C.212	DETAILED WATER MAIN UTILITY PLAN
C.213 - C.214	WATER MAIN PLAN AND PROFILE
C.300	OVERALL GRADING PLAN
C.301 - C.302	DETAILED GRADING PLAN
C.310	STORM WATER POLLUTION PREVENTION PLAN
C.311	POST CONSTRUCTION STORM WATER MANAGEMENT PLAN - NORTH DETENTION AREA
C.312	POST CONSTRUCTION STORM WATER MANAGEMENT PLAN - SOUTH DETENTION AREA
C.400	LANDSCAPING PLAN
C.500 - C.503	TYPICAL DETAILS



**LOCATION MAP**

PLAN SET IS INTENDED TO BE PRINTED IN  
COLOR. PRINTING WITHOUT COLOR MAY AFFECT  
LEGIBILITY OF THE PLANS



Clapsaddle-Garber Associates, Inc.  
16 East Main Street, P.O. Box 754  
Marshalltown, Iowa 50158  
Phone 641-752-6701  
www.cgaconsultants.com

REVISION #1 05/09/2025

	I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.	
	Signature <i>Lucas A. Wilson</i>	Date 04-28-2025
My license renewal date is December 31, 2025		
Pages or sheets covered by this seal: ALL SHEETS IN INDEX		

**LEGEND**

EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
		---W(*)---	---W(*)---	---	---
EVERGREEN TREE	EVERGREEN TREE	WATERLINE	WATERLINE	SECTION/R.O.W. LINE	SECTION/R.O.W. LINE
				---	---
DECIDUOUS TREE	DECIDUOUS TREE	WATER VALVE	WATER VALVE	BOUNDARY LINE	BOUNDARY LINE
				---	---
FRUIT TREE	FRUIT TREE	FIRE HYDRANT	FIRE HYDRANT	PROPERTY LINE	PROPERTY LINE
				---	---
SHRUBS (BUSHES)	SHRUBS (BUSHES)	WATER METER	WATER METER	EASEMENT LINE	EASEMENT LINE
				---	---
TREE LINE	TREE LINE	CURB STOP	CURB STOP	SETBACK LINE	SETBACK LINE
				■	■
STUMP	STUMP	YARD HYDRANT	YARD HYDRANT	R.O.W. RAIL OR LOT CORNER	R.O.W. RAIL OR LOT CORNER
				■	■
SWAMP	SWAMP	FIRE DEPT. CONNECTION	FIRE DEPT. CONNECTION	CONCRETE MONUMENT	CONCRETE MONUMENT
				▲	▲
CEMETERY	CEMETERY	POST INDICATOR VALVE	POST INDICATOR VALVE	GOVERNMENT CORNER MONUMENT	GOVERNMENT CORNER MONUMENT
		●	●	○	○
GRAVE	GRAVE	SANITARY SEWER LINE	SANITARY SEWER LINE	PARCEL OR LOT CORNER MONUMENT	PARCEL OR LOT CORNER MONUMENT
CAVE	CAVE	STORM SEWER LINE	STORM SEWER LINE	○	○
SINK HOLE	SINK HOLE	DRAIN TILE	DRAIN TILE	○	○
WELL	WELL	SUBDRAIN	SUBDRAIN	↑	↑
WINDMILL	WINDMILL	MANHOLE	MANHOLE	↑	↑
CISTERN	CISTERN	CLEANOUT	CLEANOUT	↑	↑
SEPTIC TANK	SEPTIC TANK	INTAKE	INTAKE	↑	↑
LP GAS TANK	LP GAS TANK	BEEHIVE INTAKE	BEEHIVE INTAKE	↑	↑
UNDERGROUND STORAGE TANK	UNDERGROUND STORAGE TANK	ROOF DRAIN	ROOF DRAIN	↑	↑
SATELLITE DISH	SATELLITE DISH	ROOF DRAIN (SURFACE)	ROOF DRAIN (SURFACE)	↑	↑
SIGN (TYPE AS NOTED)	SIGN (TYPE AS NOTED)	ROOF DRAIN (UNDERGROUND)	ROOF DRAIN (UNDERGROUND)	↑	↑
FLAGPOLE	FLAGPOLE	GAS LINE	GAS LINE	↑	↑
SOIL BORING	SOIL BORING	GAS VALVE	GAS VALVE	↑	↑
MONITORING WELL	MONITORING WELL	GAS METER	GAS METER	↑	↑
PARKING METER	PARKING METER	OVERHEAD ELECTRICAL LINE	OVERHEAD ELECTRICAL LINE	↑	↑
MAILBOX	MAILBOX	BURIED ELECTRICAL LINE	BURIED ELECTRICAL LINE	↑	↑
POST	POST	POWER POLE	POWER POLE	↑	↑
BOLLARD	BOLLARD	ELECTRICAL METER	ELECTRICAL METER	↑	↑
SPRINKLER HEAD	SPRINKLER HEAD	ELECTRICAL HIGHLINE TOWER	ELECTRICAL HIGHLINE TOWER	↑	↑
SPRINKLER HEAD VALVE	SPRINKLER HEAD VALVE	TRAFFIC SIGNAL	TRAFFIC SIGNAL	↑	↑
GUARDRAIL (BEAM OR CABLE)	GUARDRAIL (BEAM OR CABLE)	TRAFFIC SIGNAL LINE	TRAFFIC SIGNAL LINE	↑	↑
FENCE	FENCE	STREET LIGHT	STREET LIGHT	↑	↑
TILE OUTLET	TILE OUTLET	LUMINAIRE	LUMINAIRE	↑	↑
DRAINAGE WAY	DRAINAGE WAY	ELECTRICAL BOX/TRANSFORMER	ELECTRICAL BOX/TRANSFORMER	↑	↑
EDGE OF WATER	EDGE OF WATER	FIBER OPTICS LINE	FIBER OPTICS LINE	↑	↑
SILT FENCE	SILT FENCE	FIBER OPTICS BOX	FIBER OPTICS BOX	↑	↑
CONTOUR LINE	CONTOUR LINE	FIBER PEDESTAL	FIBER PEDESTAL	↑	↑
SPOT ELEVATION	SPOT ELEVATION	TELEPHONE LINE	TELEPHONE LINE	↑	↑
BUILDING	BUILDING	TELEPHONE POLE	TELEPHONE POLE	↑	↑
		TELEPHONE PEDESTAL	TELEPHONE PEDESTAL	↑	↑
		TELEPHONE BOX	TELEPHONE BOX	↑	↑
		CABLE TELEVISION LINE	CABLE TELEVISION LINE	↑	↑
		TELEVISION PEDESTAL	TELEVISION PEDESTAL	↑	↑
		TELEVISION BOX	TELEVISION BOX	↑	↑
		AIR CONDITIONER	AIR CONDITIONER	↑	↑

**CONTROL POINTS:**

IOWA REGIONAL COORDINATE SYSTEM NSRS 2011 IOWA STATE PLANES, NORTH ZONE, US FOOT NAD83(2011)(EPOCH 2010) IARTN DERIVED -US SURVEY FEET

NUMBER	NORTHING	EASTING	ELEV.	DESCRIPTION
200	3482882.396	5085274.813	880.82	103 MAG
201	3483352.97	5085263.81	888.86	103 MAG
202	3483326.372	5085434.619	867.305	103 MAG
203	3483355.908	5085585.37	867.1	103 MAG
204	3482873.759	5085602.227	870.565	103 MAG IN CUT X
205	3482888.095	5085444.731	875.57	103 MAG
206	3482431.444	5084694.305	885.68	103 MAG
207	3482409.089	5084606.108	884.795	103 REBAR
208	3482466.286	5085254.906	883.214	103 MAG
209	3482466.193	5085305.747	883.67	103 CUT X
520	3482522.163	5084678.826	888.31	103 REBAR
521	3482493.514	5085145.694	886.19	103 REBAR
522	3482990.861	5085224.636	879.7	103 MAG
523	3482922.262	5084752.159	888.36	103 REBAR
524	3482754.219	5085147.303	880.17	103 60D
527	3482586.014	5085116.902	882.18	103 MARKER X

**PROPOSED USE**

INDUSTRIAL DISTRIBUTION

**OWNER OF RECORD:**

SWIFT & COMPANY 1770  
PROMONTORY CIR GREELEY,  
CO 80634

**PROPERTY ADDRESS:**

402 N 10TH AVENUE  
MARSHALLTOWN, IOWA 50158

**SURVEY PREPARED BY:**

CLAPSADDLE-GARBER ASSOCIATES, INC  
16 EAST MAIN STREET  
MARSHALLTOWN, IOWA 50158  
PH 641-752-6701  
WWW.CGACONSULTANTS.COM

**SITE PLAN PREPARED BY:**

PROJECT MANAGER:LUKE WILSON  
CLAPSADDLE-GARBER ASSOCIATES, INC  
16 EAST MAIN STREET  
MARSHALLTOWN, IOWA 50158  
PH 641-752-6701  
WWW.CGACONSULTANTS.COM

**DATE OF PREPARATION:**

MAY 2, 2025

**FIELD WORK COMPLETED:**

JANUARY 22, 2025

**UTILITY COMPANIES**

THE FOLLOWING UTILITIES ARE PRESENT ON THIS PROJECT

Alliant Energy	Field Engineer	800-255-4268
Windstream Enterprise	Locate Desk	800-941-3430
Centurylink	Sadie Hull	918-547-0147
Hawkins Electrical Service	Craig Hawkins	641-754-3788
City of Marshalltown Waterworks	Zack Madfield	641-753-7913
City of Marshalltown Sewer	Troy McGahuey	641-754-5749
City of Marshalltown Engr Dept.	Heather Thomas	641-754-5734
JBS	BRAD CARL	641-752-9320

NOTE:  
TYPICAL DEPTH OF COVER ON WATERMAIN  
PIPE IN MARSHALLTOWN IS 5 FT.

UNDERGROUND STRUCTURES, FACILITIES, AND UTILITIES  
HAVE BEEN PLATTED FROM AVAILABLE SURVEYS, RECORDS  
AND DEEDS. THEREFORE THEIR LOCATIONS MUST BE  
CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS,  
THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN.

- ALL BEARINGS ARE THE RESULT OF G.P.S. OBSERVATIONS.
- ALL UNDERGROUND UTILITIES ON THIS SITE HAVE BEEN LOCATED AT ASCE LEVEL C OR D SURVEY QUALITY.
- UTILITY LINETYPES WITH A QUALITY LEVEL INDICATOR (\*) HAVE BEEN LOCATED PER THE FOLLOWING ASCE STANDARD GUIDELINE FOR THE COLLECTION & DEPICTION OF EXISTING SUBSURFACE UTILITY DATA:
  - (A) - PRECISE HORIZONTAL & VERTICAL LOCATION OF UTILITIES OBTAINED BY THE ACTUAL EXPOSURE (OR VERIFICATION OF PREVIOUSLY EXPOSED & SURVEYED UTILITIES) & SUBSEQUENT MEASUREMENT OF SUBSURFACE UTILITIES, USUALLY AT A SPECIFIC POINT. MINIMALLY INTRUSIVE EXCAVATION EQUIPMENT IS TYPICALLY USED TO MINIMIZE THE POTENTIAL FOR UTILITY DAMAGE. A PRECISE HORIZONTAL & VERTICAL LOCATION, AS WELL AS OTHER UTILITY ATTRIBUTES, IS SHOWN ON PLAN DOCUMENTS. ACCURACY IS TYPICALLY SET TO 15- MM VERTICAL & TO APPLICABLE HORIZONTAL SURVEY & MAPPING ACCURACY AS DEFINED OR EXPECTED BY THE PROJECT OWNER.
  - (B) - INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE & APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES. QUALITY LEVEL B DATA SHOULD BE REPRODUCIBLE BY SURFACE GEOPHYSICS AT ANY POINT OF THEIR DEPICTION. THIS INFORMATION IS SURVEYED TO APPLICABLE TOLERANCES DEFINED BY THE PROJECT & REDUCED ONTO PLAN DOCUMENTS.
  - (C) - INFORMATION OBTAINED BY SURVEYING & PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES & BY USING PROFESSIONAL JUDGEMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D INFORMATION.
  - (D) - INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.

SYMBOLS, LEGEND, AND GENERAL INFORMATION

JBS DISTRIBUTION EXPANSION MARSHALLTOWN, IOWA

Clapsaddle Garber Associates, Inc  
16 East Main Street  
Marshalltown, Iowa 50158  
Ph 641-752-6701  
www.cgaconsultants.com

PROJECT NO:  
25-DS-0026  
SHEET NO:  
C.102

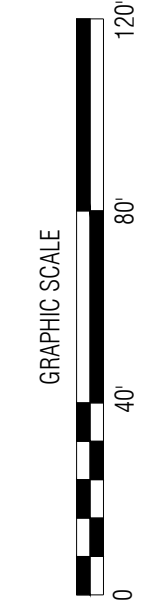
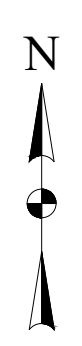
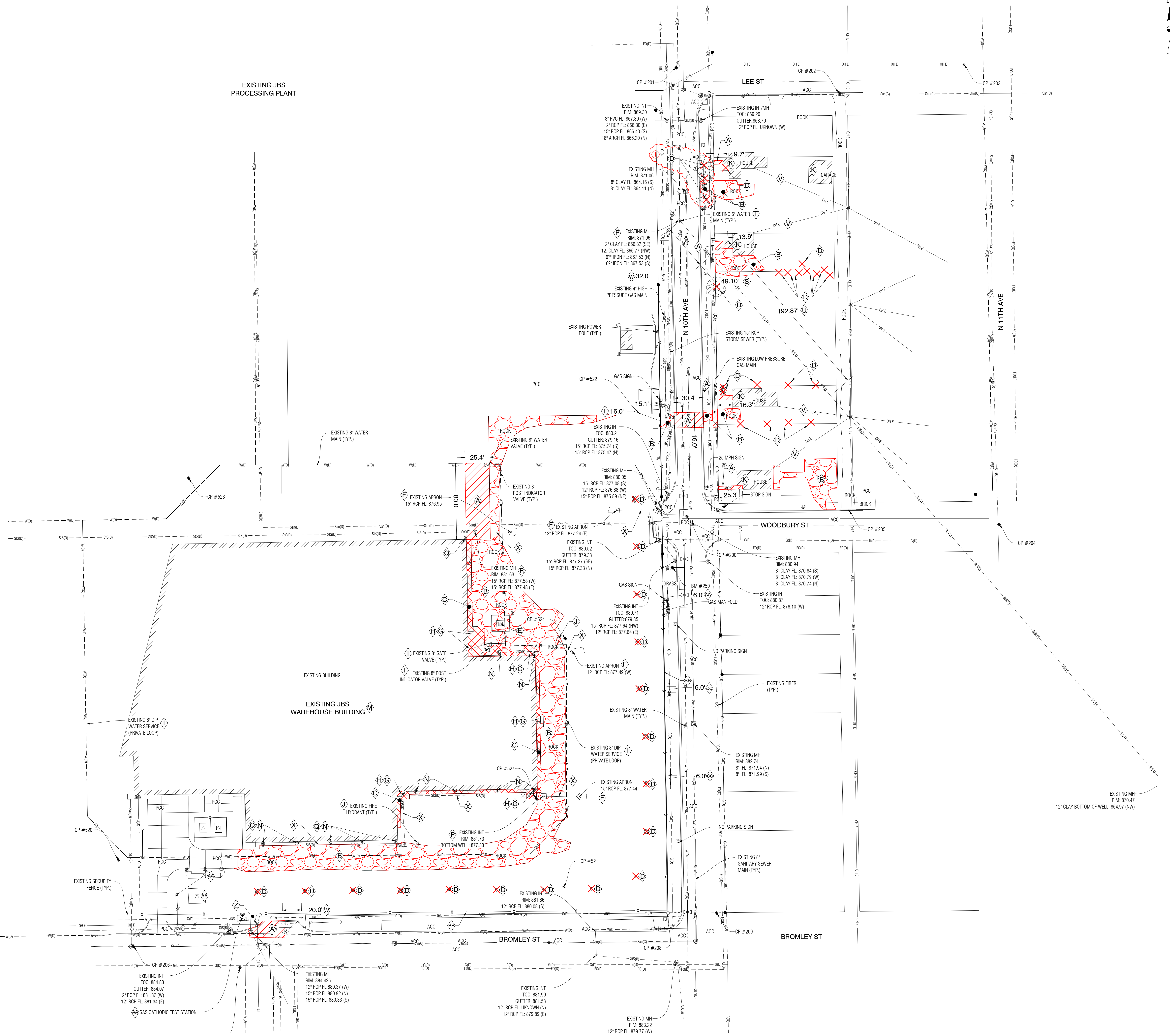
1-800-292-8989  
www.iowaonecall.com

**GENERAL DEMOLITION NOTES:**

- ADJOINING PROPERTIES SHALL BE PROTECTED DURING DEMOLITION OPERATIONS. DEBRIS ON ADJOINING PROPERTIES SHALL BE CAREFULLY REMOVED BY CONTRACTOR.
- ANY DAMAGE TO EXISTING PAVEMENT TO REMAIN DUE TO CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. ALL EFFORTS SHALL BE MADE TO NOT DISTURB EXISTING PAVEMENT TO REMAIN.
- ONE WEEK PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY:
  - CITY OF MARSHALLTOWN
  - OWNER
  - TIPPMANN GROUP
- CONTRACTOR SHALL DISPOSE OF PAVEMENT, BUILDING MATERIALS & FENCING OFF-SITE, IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL GUIDELINES.
- ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS, OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC RIGHT-OF-WAY.
- ALL UTILITIES SHALL BE DECOMMISSIONED FROM EXISTING HOMES. CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO DEMOLITION AND REMOVAL OF UTILITIES.

**KEY DEMOLITION CONSTRUCTION NOTES:**

- A** REMOVE CONCRETE & ALL ASSOCIATED CURBS TO NEAREST JOINT LINE OR AS INDICATED.
- B** REMOVE GRAVEL DRIVE.
- C** REMOVE BUILDING PERIMETER SIDEWALK.
- D** COMPLETELY REMOVE EXISTING TREE/SHRUB & ROOTBALL. DISPOSE OF OFFSITE. BACKFILL DEPRESSIONS WITH SUITABLE SOIL.
- E** EXISTING ELECTRICAL TRANSFORMER TO BE REMOVED AND RELOCATED. SEE MEP PLAN FOR MORE DETAILS.
- F** EXISTING STORM SEWER OUTLET, APRON AND RIP-RAP TO BE REMOVED
- G** EXISTING PREFABRICATED STEPS AND HANDRAIL TO BE REMOVED
- H** EXISTING FROST PROTECTED STOOP TO BE REMOVED
- I** EXISTING 8" DIP FIRE LOOP TO BE RELOCATED, REFER TO UTILITY PLAN FOR MORE DETAILS
- J** EXISTING FIRE HYDRANT TO BE REMOVED AND SALVAGED TO OWNER
- K** REMOVE BUILDING & ALL ASSOCIATED FOUNDATIONS. BACKFILL HOLES WITH SUITABLE SOIL.
- L** REMOVE & REPLACE EXISTING FENCING & POSTS.
- M** EXISTING BUILDING FOUNDATIONS TO BE PROTECTED THROUGHOUT THE DURATION OF CONSTRUCTION. REFER TO THE STRUCTURAL PLANS FOR MORE DETAILS.
- N** EXISTING ROOF DRAINS & STORM CLEANOUTS
- O** EXISTING SANITARY SEWER CLEANOUT TO BE PROTECTED THROUGHOUT THE DURATION OF CONSTRUCTION.
- P** EXISTING STORM SEWER INLET OR STRUCTURE TO BE REMOVED
- Q** EXISTING ROOF DRAIN TO BE PROTECTED THROUGHOUT THE DURATION OF CONSTRUCTION
- R** EXISTING STORM SEWER MANHOLE TO BE PROTECTED AND RECONNECTED VIA A ROOF DRAIN LEADER PIPE TO THE PROPOSED STORM SEWER AND DETENTION BASINS. REFER TO UTILITY PLAN FOR MORE DETAILS.
- S** EXISTING STORM SEWER PIPE TO BE FILLED WITH FLOWABLE MORTAR
- T** EXISTING 6" DUCTILE IRON WATER MAIN TO BE PROTECTED THROUGHOUT THE COMPLETE DURATION OF THE PROJECT.
- U** EXISTING STORM SEWER TILE TO BE RECONNECTED TO PROPOSED MANHOLE. REFER TO UTILITY PLAN FOR MORE DETAILS.
- V** EXISTING OVERHEAD ELECTRICAL TO BE REMOVED & DECOMMISSIONED. CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO COMMENCEMENT OF REMOVALS.
- W** EXISTING FENCE TO BE REMOVED AND REPLACED WITH SECURED GATE FOR SNOW REMOVAL OPERATIONS. REFER TO LAYOUT PLAN FOR MORE DETAILS.
- X** EXISTING STORM SEWER PIPE TO BE REMOVED.
- Y** EXISTING POLE TO BE BRACED FOR STORM SEWER INSTALLATION
- Z** EXISTING UTILITY TO BE PROTECTED THROUGHOUT THE DURATION OF CONSTRUCTION.
- AA** EXISTING FENCE TO REMAIN IN PLACE, UNLESS OTHERWISE NOTED, SHALL BE PROTECTED THROUGHOUT THE DURATION OF CONSTRUCTION.
- AB** EXISTING FENCE TO BE REMOVED AND REPLACED WITH 6" WIDE FIRE ACCESS GATES. REFER TO LAYOUT PLAN FOR MORE DETAILS.



NO.	REVISION	DATE
1	REVISION 1	KMN 05/09/25

DESIGNED:	DATE:	CHECKED:	DATE:	APPROVED:	DATE:

**EXISTING CONDITIONS AND DEMOLITION PLAN**

**JBS DISTRIBUTION EXPANSION MARSHALLTOWN, IOWA**

Clansdale Garber Associates, Inc.  
 16 East Main Street  
 Marshalltown, Iowa 50158  
 Ph 641-752-6701  
 www.cgaconsultants.com

**CGA**  
 PROJECT NO: 25-DS-0026  
 SHEET NO: C.110



**TRAFFIC CONTROL NOTES**

1. ALL TRAFFIC CONTROL DEVICES & BARRIERS SHALL BE FURNISHED, ERECTED, MAINTAINED, & REMOVED BY THE CONTRACTOR.
2. ACCESS TO NEIGHBORING BUILDINGS SHALL BE MAINTAINED AT ALL TIMES.
3. ALL UTILITY WORK WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE CITY OF MARSHALLTOWN STANDARDS & THE CURRENT ADDITION OF THE MUTCO.
4. TEMPORARY STREET CLOSURE ALONG N 10TH AVENUE SHALL BE COORDINATED WITH THE CITY OF MARSHALLTOWN.
5. THE CONTRACTOR SHALL USE CARE WHEN WORKING UNDER/OVER/AROUND ELECTRICAL AND ALL OTHER UTILITY LINES.

**GENERAL LAYOUT & UTILITY NOTES:**

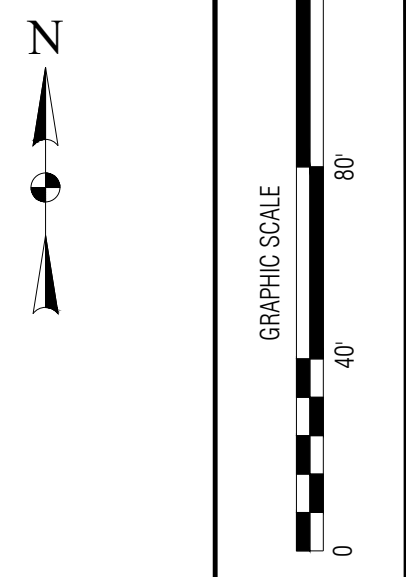
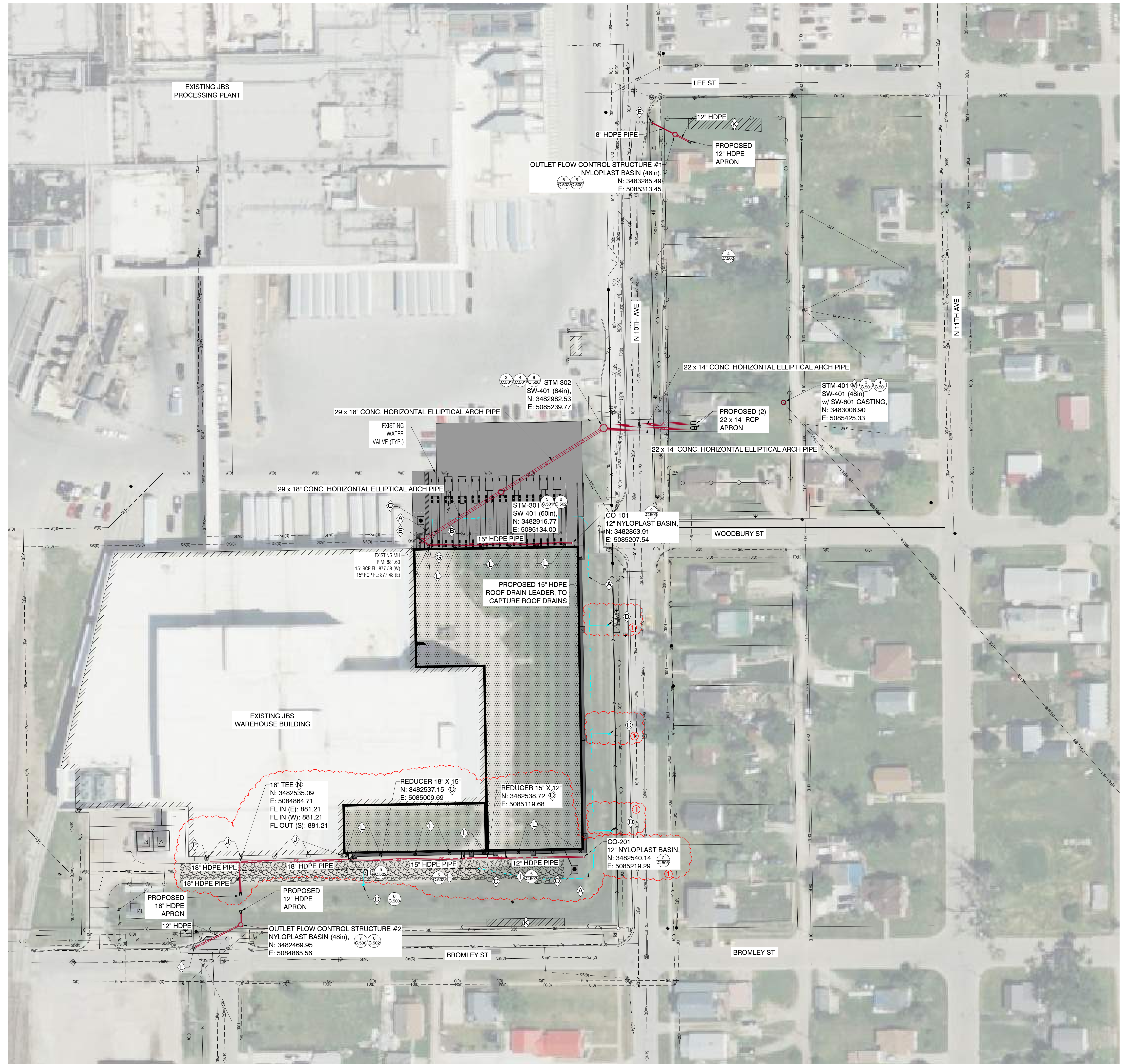
1. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES & STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH APPROPRIATE SAFETY REGULATIONS.
3. ALL DISTURBED AREAS SHALL BE SEED, FERTILIZED & MULCHED UNLESS OTHERWISE NOTED IN PLANS. REFER TO LANDSCAPING PLAN.
4. COORDINATE GAS, ELECTRIC, TELEPHONE, & FIBER OPTIC WITH RESPECTIVE UTILITY COMPANIES. ONE WEEK PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY OF MARSHALLTOWN.
5. ALL SITE UTILITIES SHALL BE BROUGHT WITHIN 5' OF THE BUILDING TO CONNECT TO PLUMBING CONTRACTOR'S WORK - REFER TO MEP PLANS FOR MORE DETAILS.
6. SEWER FLOW LINES, PIPE MATERIAL, & PIPE SIZES SHALL BE FIELD VERIFIED PRIOR TO INSTALLING PIPE OR ORDERING STRUCTURES.
7. ALL ROOF DRAINS SHALL BE TIED INTO STORM SEWER LINES VIA ROOF LEADER LINE. SEE UTILITY PLAN FOR MORE DETAILS.

**CONSTRUCTION DETAILS**

- 1 NORTH DETENTION BASIN
- 2 INSTALL NORTH DETENTION OUTLET CONTROL STRUCTURE
- 3 SOUTH DETENTION BASIN
- 4 INSTALL SOUTH DETENTION OUTLET CONTROL STRUCTURE
- 5 ARCH PIPE CONNECTION TO 84" DIA MANHOLE
- 6 SW-401 INTAKE
- 7 SW-602 CASTING
- 8 FLAT TOP INTAKE CASTING
- 9 INSTALL INSERTA-TEE
- 10 48" NYLOPLAST OUTLET STRUCTURE
- 11 12" NYLOPLAST BASIN

**CONSTRUCTION NOTES:**

- A PROPOSED 8" DIP WATER MAIN FIRE LOOP
- B PROPOSED 3" DOMESTIC WATER SERVICE
- C PROPOSED CONNECTION TO EXISTING 8" DIP WATER MAIN FIRE LOOP
- D PROPOSED FIRE HYDRANT
- E PROPOSED STORM SEWER TO BE CONNECTED TO EXISTING STORM STRUCTURE
- F PROPOSED STORM SEWER STRUCTURE TO BE CONNECTED TO RCP ARCH PIPE USING WIRE MESH REINFORCED CONCRETE PIPE COLLAR
- G 15" HDPE PROPOSED STORM SEWER 30" BEND
- H 3" CONDENSATE LINE TO BE CONNECTED TO 18" ROOF DRAIN LEADER WITH INSERTA-TEE
- I 4" HUB DRAIN LINE TO BE CONNECTED TO 18" ROOF DRAIN LEADER WITH INSERTA-TEE
- J EXISTING ROOF DRAINS TO BE CONNECTED WITH 18" ROOF DRAIN LEADER WITH INSERTA-TEE
- K PROPOSED OVERFLOW WEIR, FOR MORE INFORMATION SEE SHEETS C.301 & C.302
- L PROPOSED ROOF DRAIN TO BE CONNECTED TO ROOF DRAIN LEADER, FOR ADDITIONAL INFORMATION ON ROOF DRAIN, SEE MEP PLAN.
- M CONNECT EXISTING STORM TILE LINE TO PROPOSED STORM STRUCTURE
- N 18" HDPE TEE (SEE SHEET C.212 FOR ADDITIONAL RIM AND FLOW LINE INFORMATION)
- O HDPE REDUCER (SEE SHEET C.212 FOR ADDITIONAL RIM AND FLOW LINE INFORMATION)
- P EXISTING ROOF DRAIN CLEAN OUT TO BE CONNECTED TO 18" ROOF DRAIN LEADER
- Q PROPOSED 84" x 100" TRANSFORMER PAD LOCATION & ASSOCIATED BOLLARDS (SEE STRUCTURAL PLANS FOR MORE DETAILS)



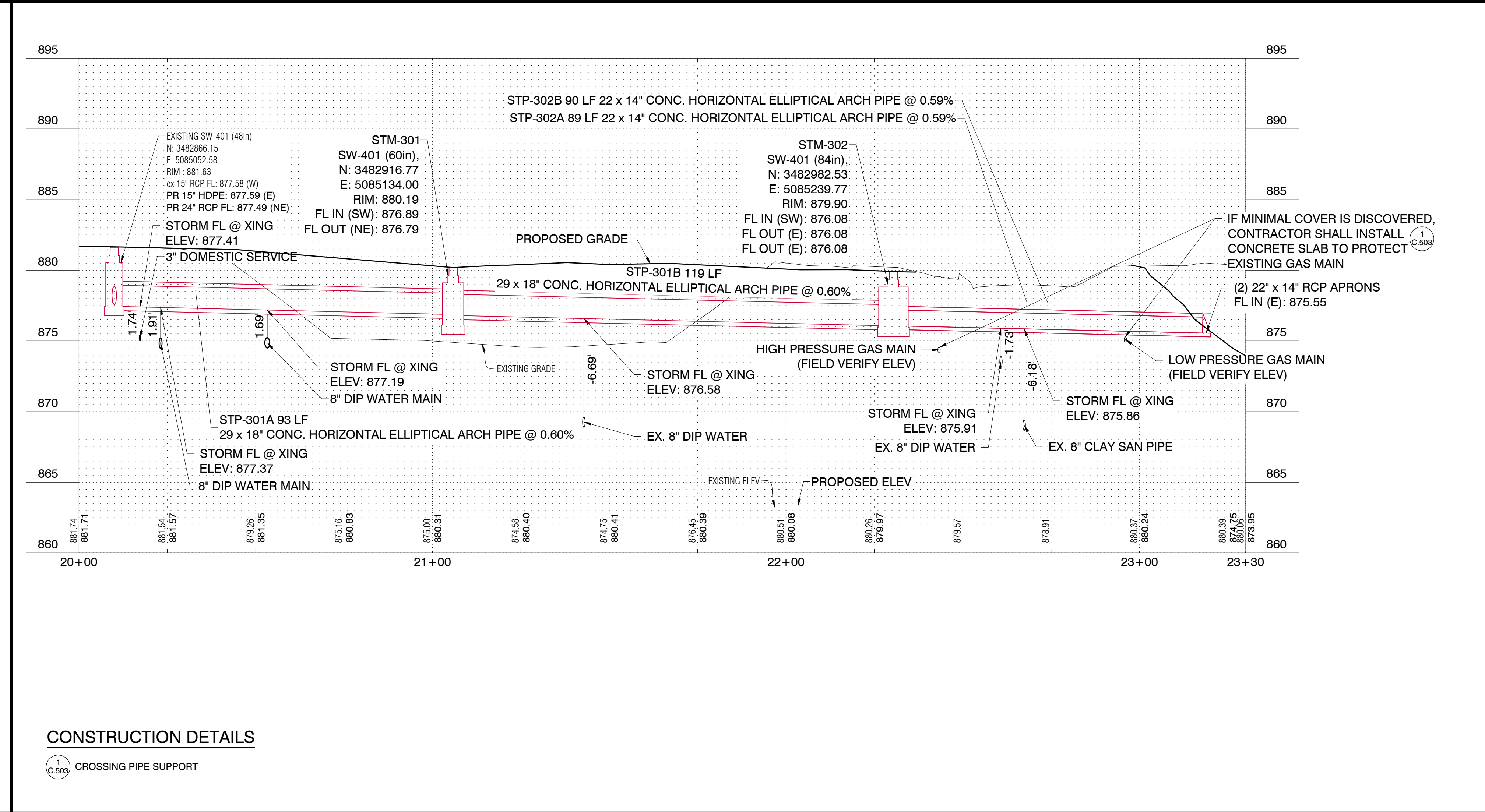
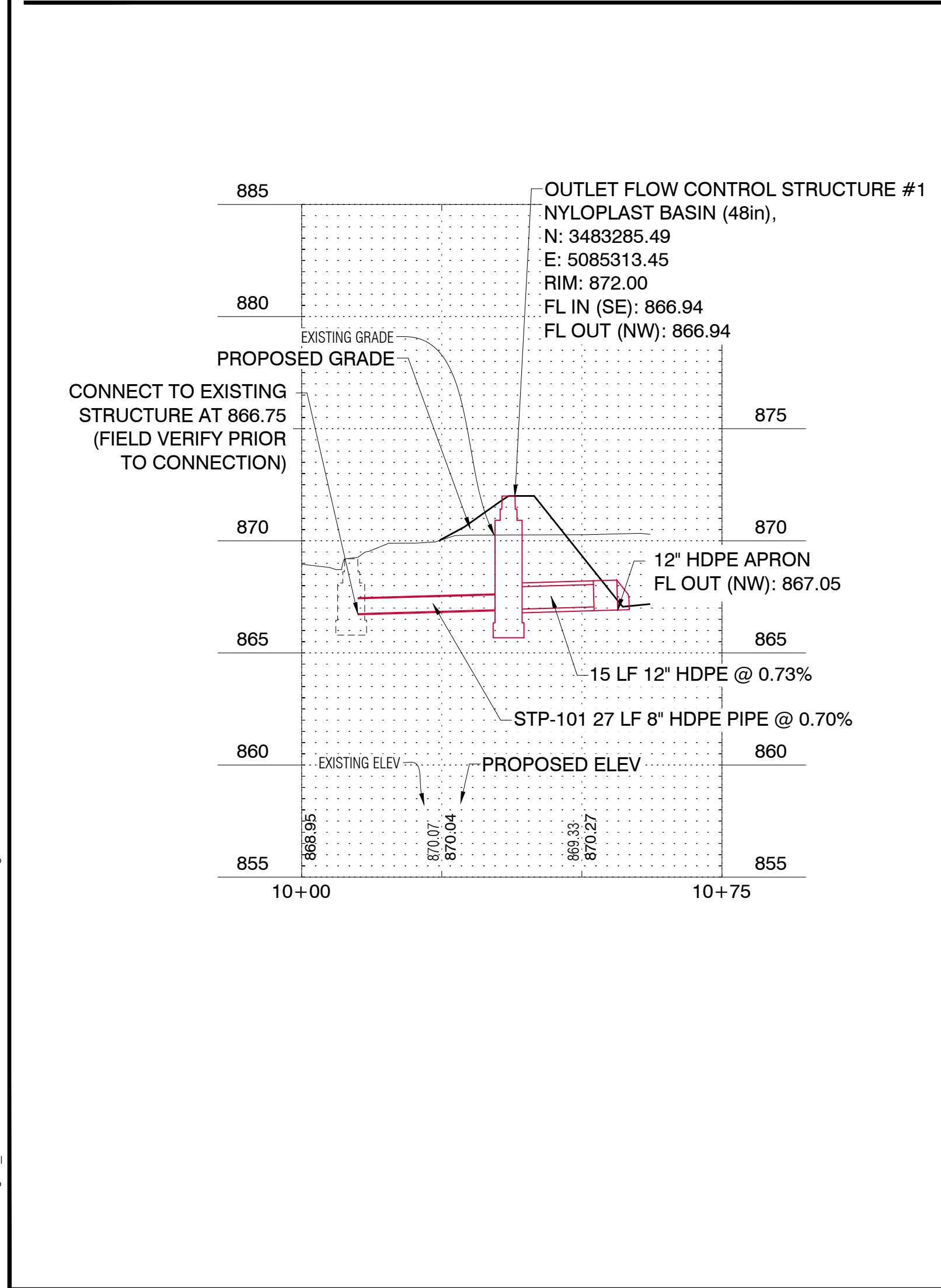
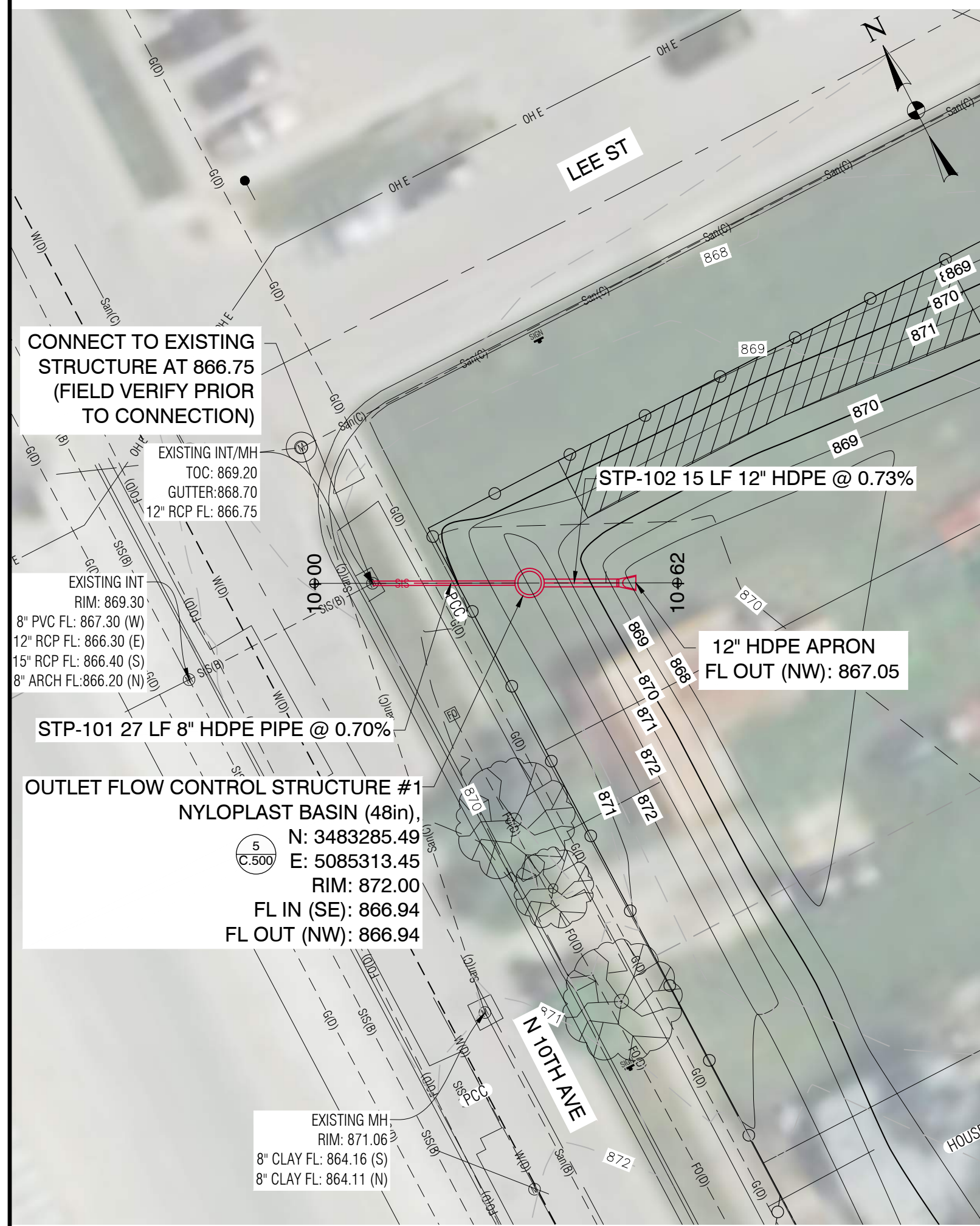
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DESIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_  
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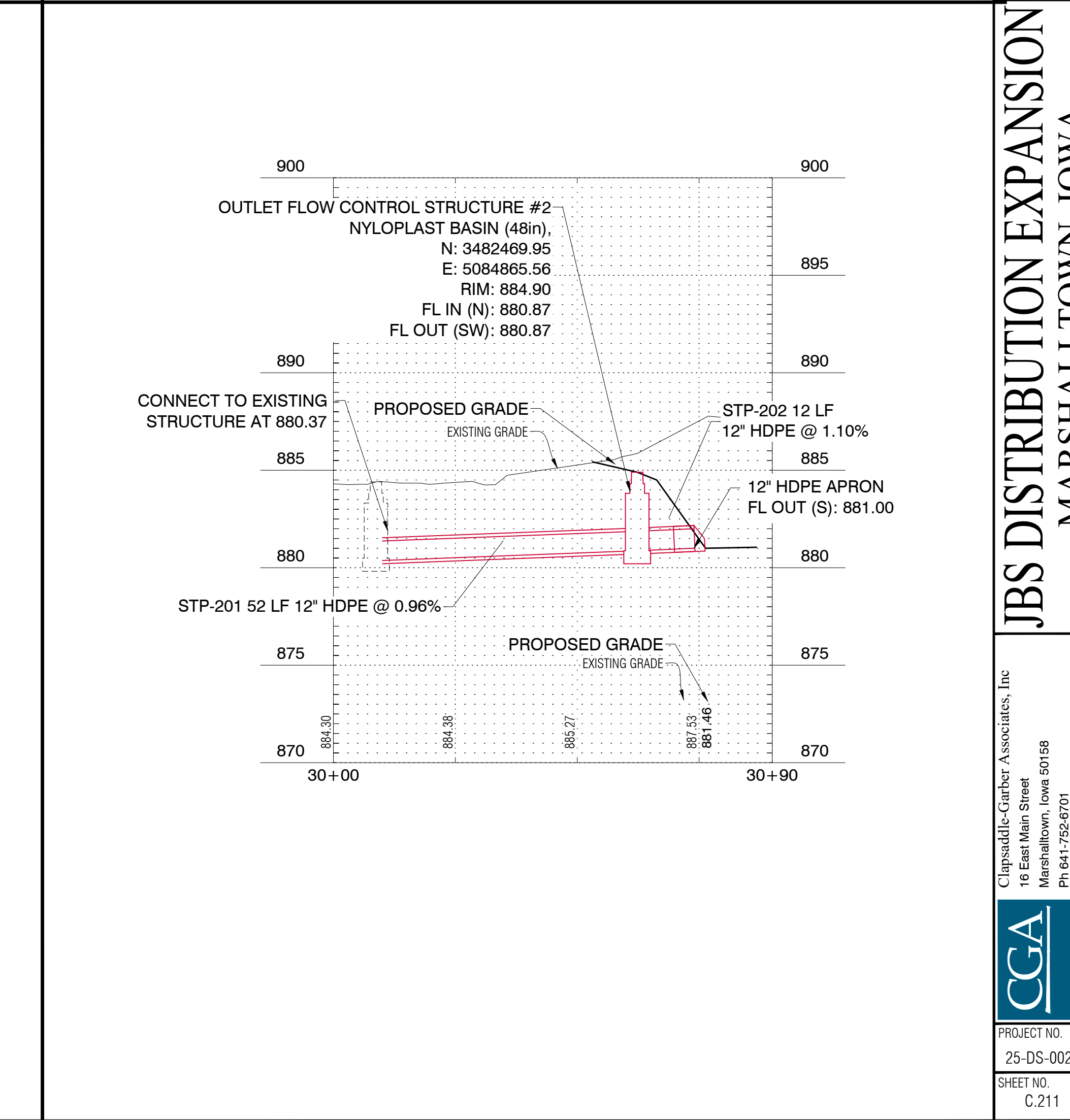
**OVERALL UTILITY PLAN**

**JBS DISTRIBUTION EXPANSION**  
 MARSHALLTOWN, IOWA

  
 Clapsaddle Garber Associates, Inc.  
 18 East Main Street  
 Marshalltown, Iowa 50158  
 Ph: 641-752-6701  
 www.cgaconsultants.com



CONSTRUCTION DETAILS  
CROSSING PIPE SUPPORT



STORM SEWER PLAN AND PROFILE

JBS DISTRIBUTION EXPANSION MARSHALLTOWN, IOWA

Clansdale Garber Associates, Inc.  
16 East Main Street  
Marshalltown, Iowa 50158  
Ph: 641-752-6701  
www.cgare.com

PROJECT NO: 25-DS-0026  
SHEET NO: C.211

DESIGNED: DATE: \_\_\_\_\_  
DRAWN: DATE: \_\_\_\_\_  
CHECKED: DATE: \_\_\_\_\_  
APPROVED: DATE: \_\_\_\_\_

REVISION 1  
S/C 05/09/25

1

1" = 8' VERTICAL SCALE  
GRAPHIC SCALE  
0 20' 40' 60'

**TRAFFIC CONTROL NOTES**

1. ALL TRAFFIC CONTROL DEVICES & BARRIERS SHALL BE FURNISHED, ERECTED, MAINTAINED, & REMOVED BY THE CONTRACTOR.
2. ACCESS TO NEIGHBORING BUILDINGS SHALL BE MAINTAINED AT ALL TIMES.
3. ALL UTILITY WORK WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE CITY OF MARSHALLTOWN STANDARDS & THE CURRENT ADDITION OF THE MUTCO.
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**GENERAL LAYOUT & UTILITY NOTES:**

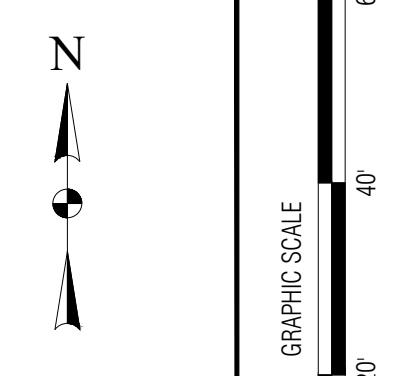
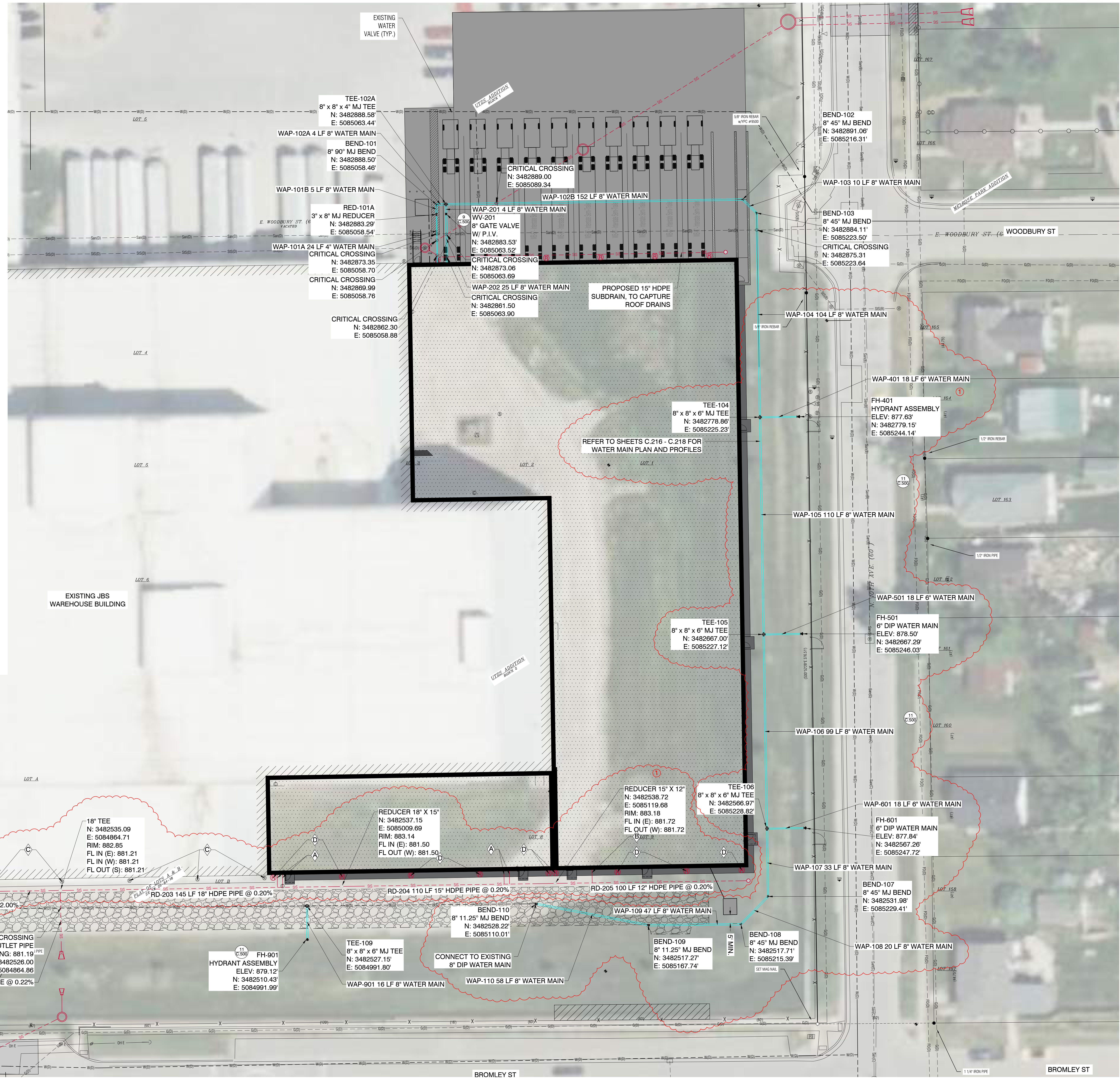
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5. ALL SITE UTILITIES SHALL BE BROUGHT WITHIN 5' OF THE BUILDING TO CONNECT TO PLUMBING CONTRACTORS WORK - REFER TO MEP PLANS FOR MORE DETAILS.
6. SEWER FLOW LINES, PIPE MATERIAL, & PIPE SIZES SHALL BE FIELD VERIFIED PRIOR TO INSTALLING PIPE OR ORDERING STRUCTURES.
7. ALL ROOF DRAINS SHALL BE TIED INTO STORM SEWER LINES VIA ROOF LEADER LINE. SEE UTILITY PLAN FOR MORE DETAILS.

**CONSTRUCTION DETAILS**

- 9 STANDARD POST INDICATOR VALVE
- 11 FIRE HYDRANT ASSEMBLY

**CONSTRUCTION NOTES:**

- A 3" CONDENSATE LINE TO BE CONNECTED TO 18" ROOF DRAIN LEADER WITH INSERTA-TEE
- B 4" HUB DRAIN LINE TO BE CONNECTED TO 18" ROOF DRAIN LEADER WITH INSERTA-TEE
- C EXISTING ROOF DRAINS TO BE CONNECTED WITH 18" ROOF DRAIN LEADER WITH INSERTA-TEE
- D PROPOSED ROOF DRAINS TO BE CONNECTED WITH 18" ROOF DRAIN LEADER WITH INSERTA-TEE



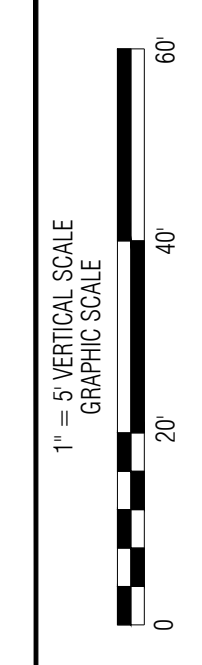
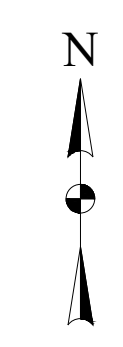
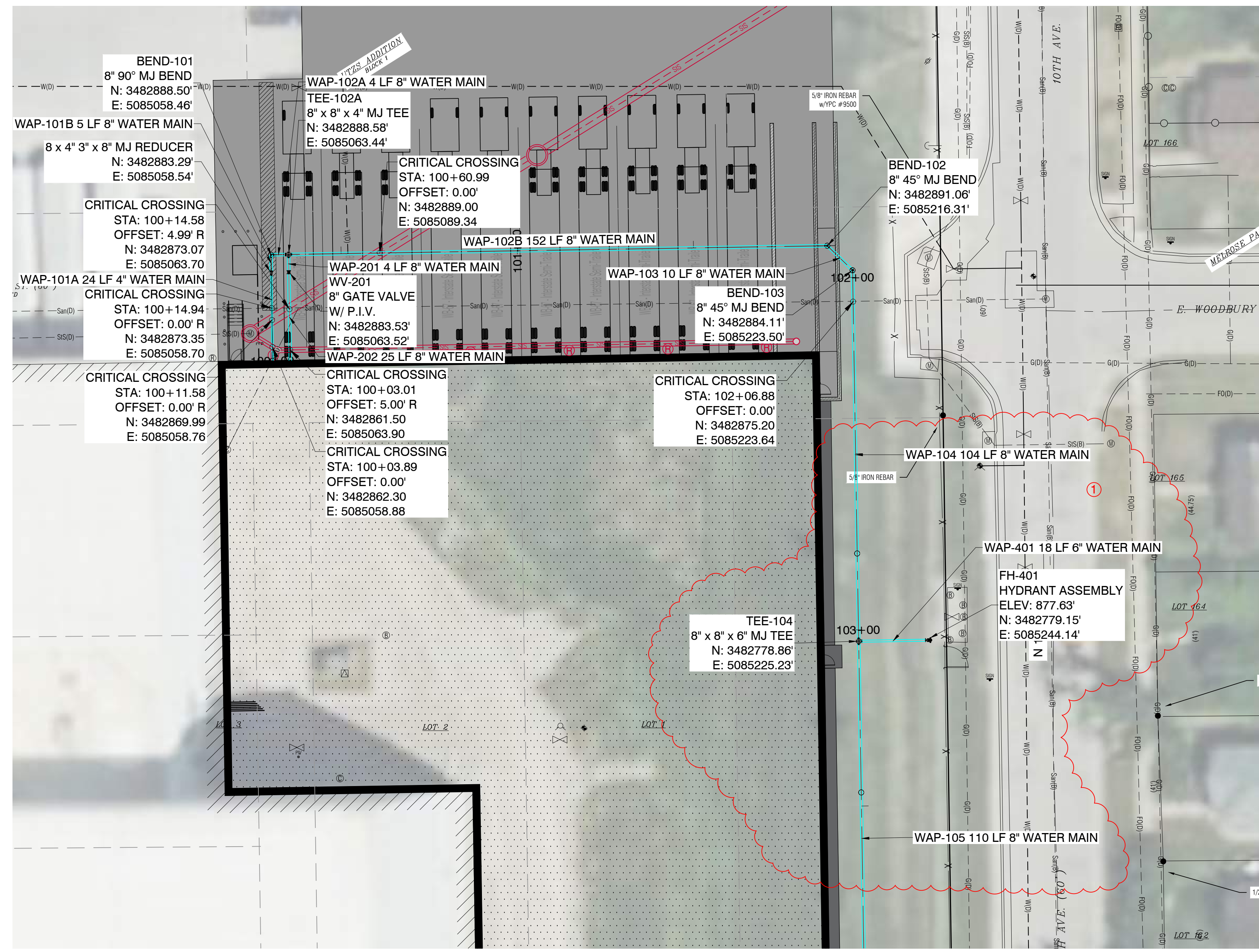
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**JBS DISTRIBUTION EXPANSION  
MARSHALLTOWN, IOWA**

Clasradle-Garber Associates, Inc.  
18 East Main Street  
Marshalltown, Iowa 50158  
Ph 641-752-6701  
www.cgaengineers.com

**CGA**  
PROJECT NO:  
25-DS-0026  
SHEET NO:  
C.212

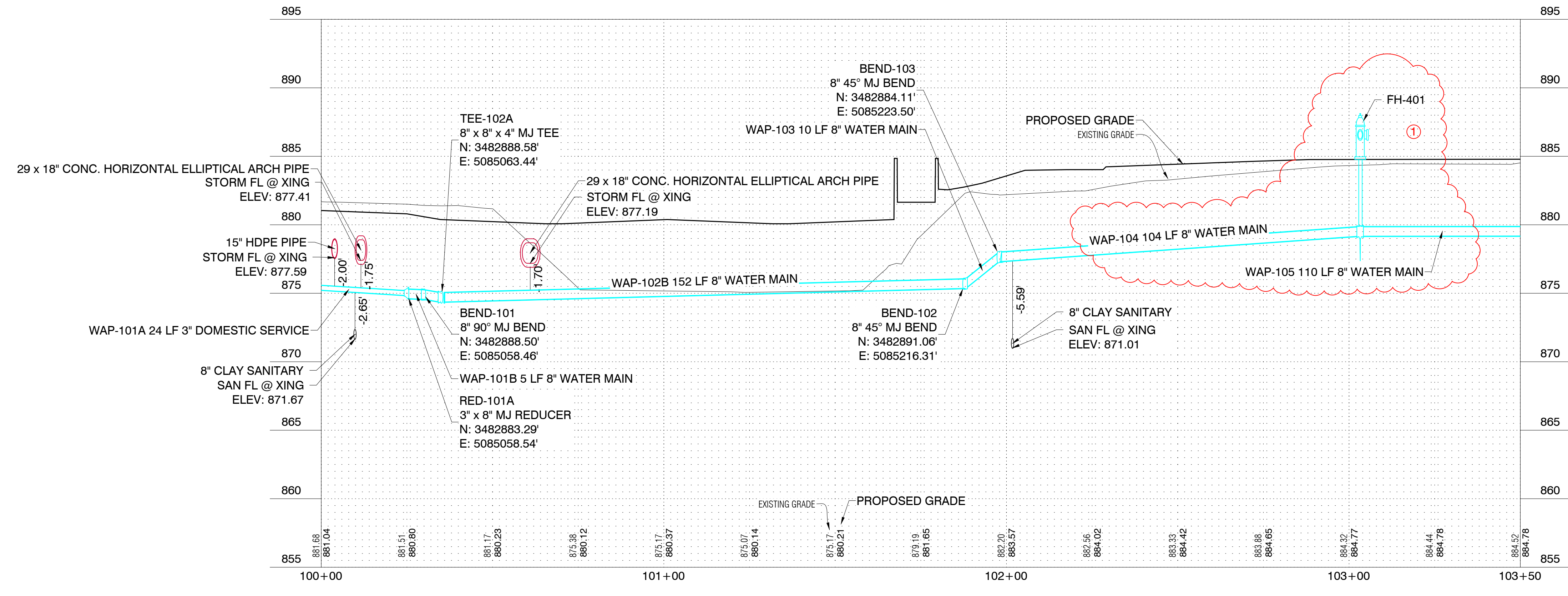


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1	REVISION 1	SJC	05/09/25

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 APPROVED: \_\_\_\_\_ DATE: \_\_\_\_\_

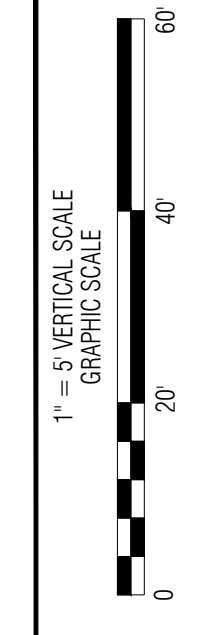
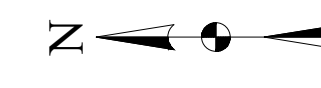
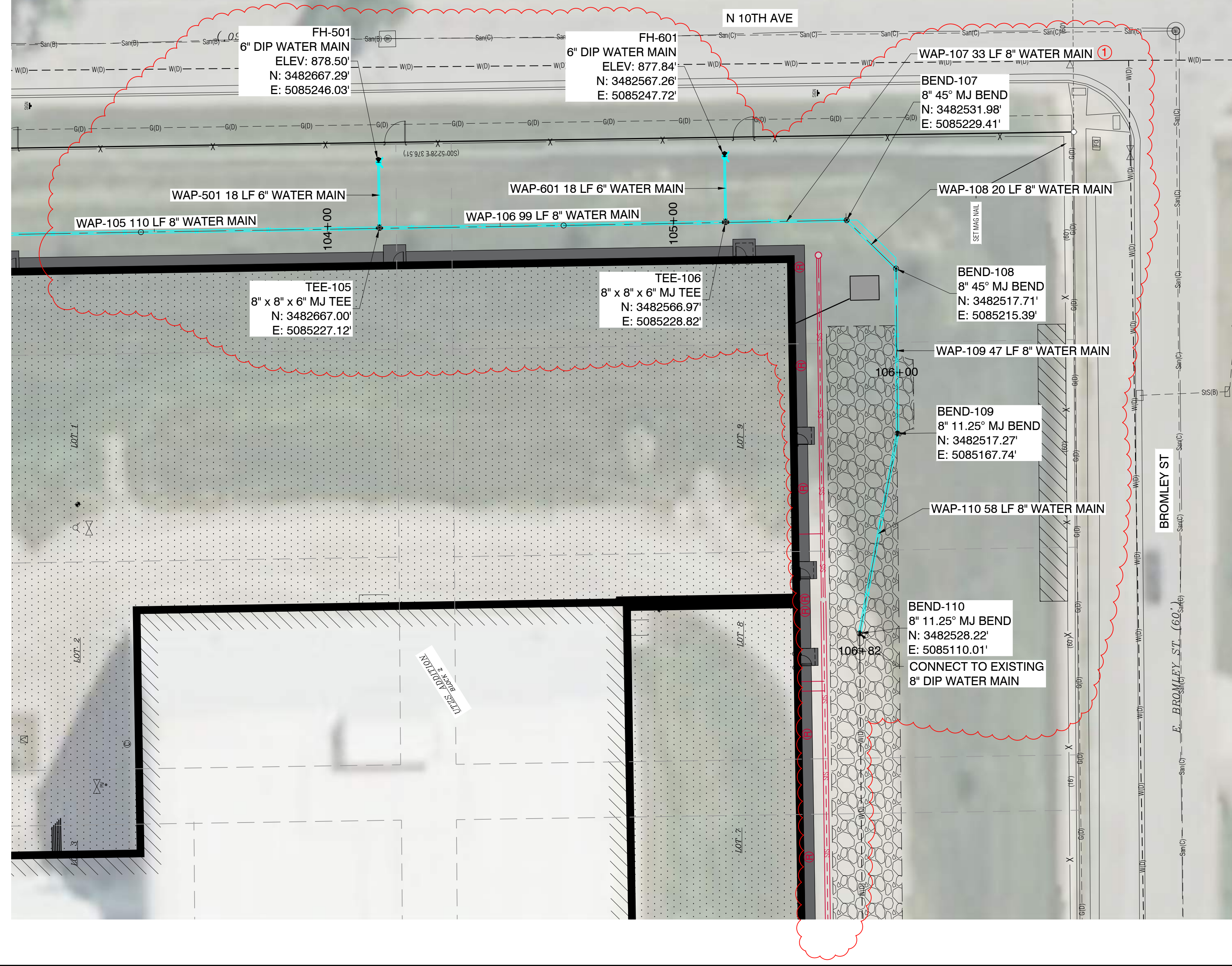
**WATER MAIN  
PLAN AND PROFILE**

**JBS DISTRIBUTION EXPANSION  
MARSHALLTOWN, IOWA**



Clansdale Garber Associates, Inc.  
 16 East Main Street  
 Marshalltown, Iowa 50158  
 Ph 641-752-6701  
 www.cgaconsultants.com

**CGA**  
 PROJECT NO: 25-DS-0026  
 SHEET NO: C.213



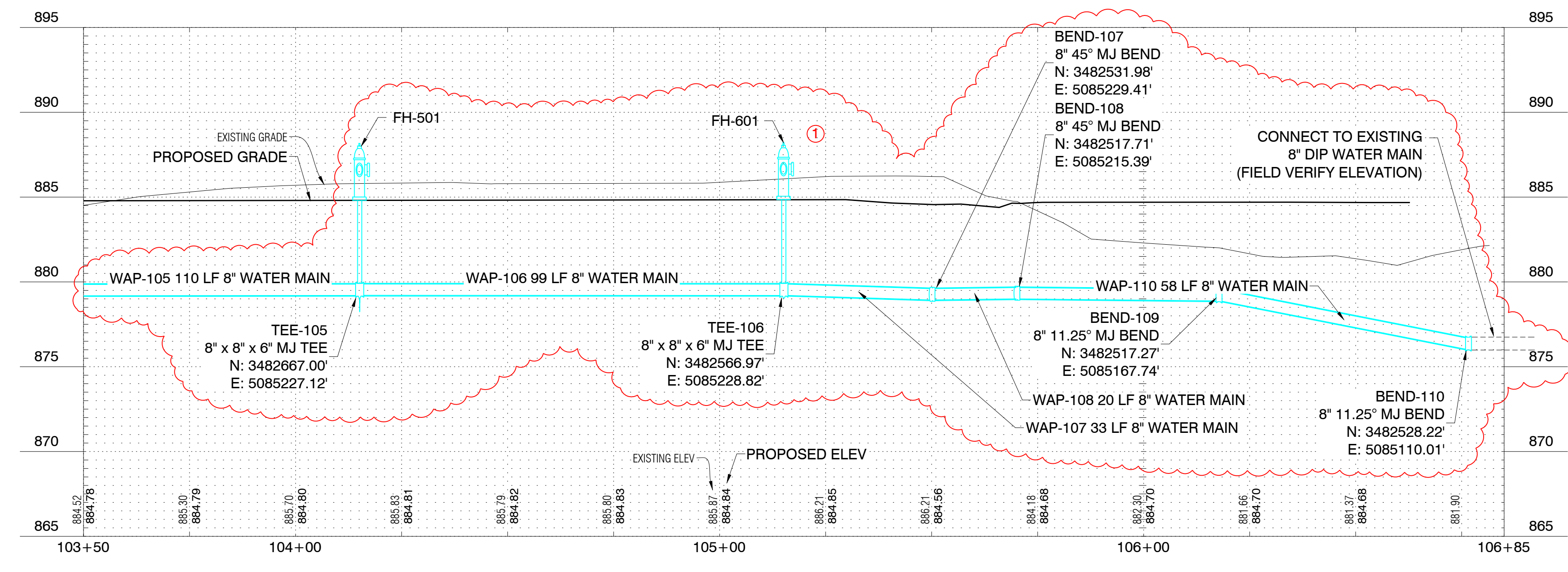
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1	REVISION 1	SJC	05/09/25

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**WATER MAIN  
PLAN AND PROFILE**

**JBS DISTRIBUTION EXPANSION  
MARSHALLTOWN, IOWA**



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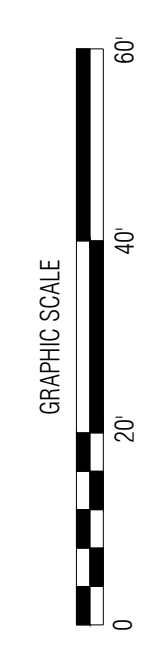
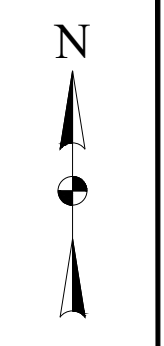
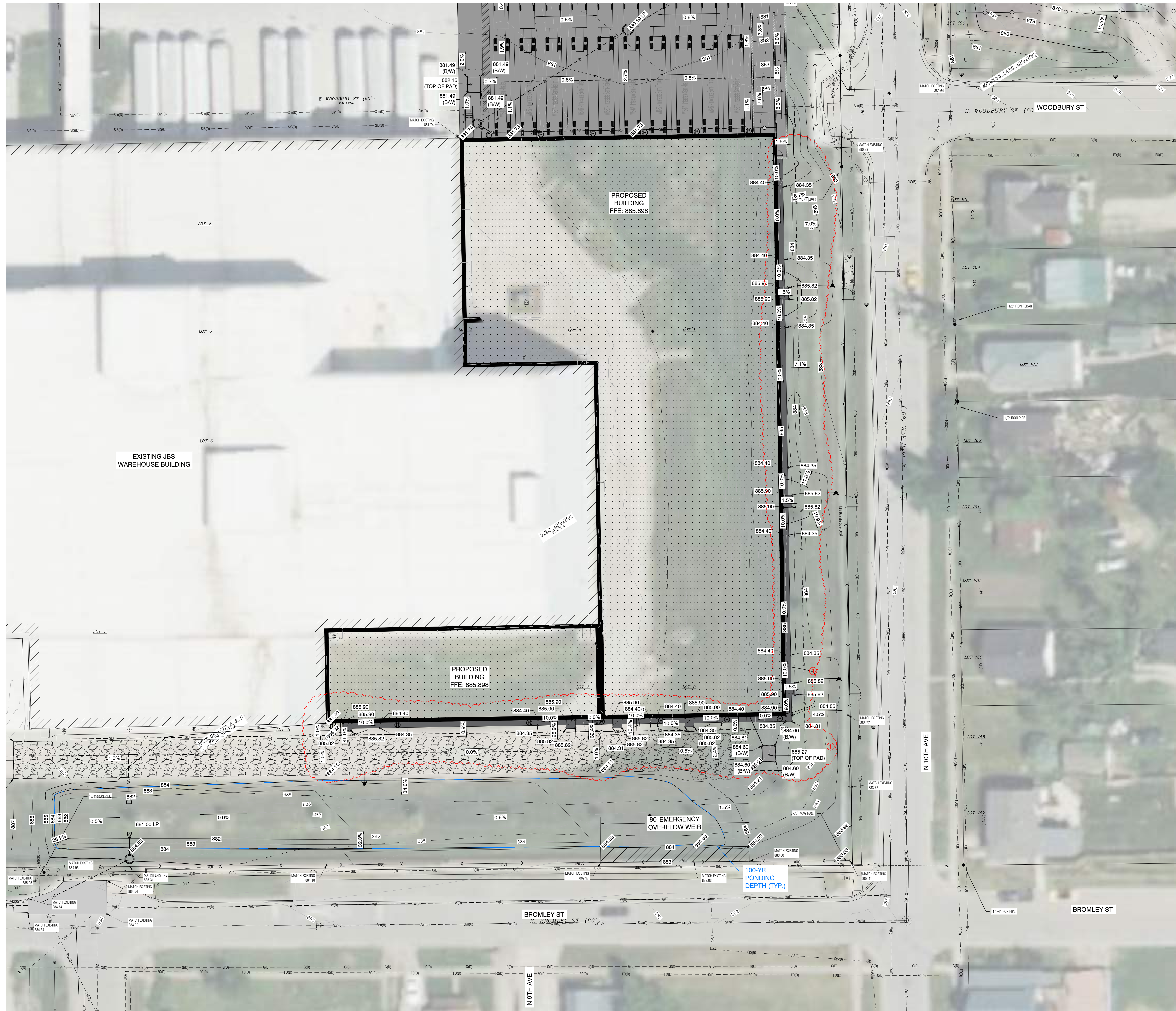


**GENERAL GRADING NOTES**

1. SLOPES SHALL NOT BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
2. GRADE TO DRAIN AWAY FROM ALL BUILDINGS.
3. SIDEWALK CROSS SLOPES SHALL NOT EXCEED 2%. CONTRACTOR SHALL TARGET 1.5% CROSS SLOPE.
4. STRIP TOPSOIL TO A DEPTH OF 6" & STOCKPILE. RESPREAD TOPSOIL TO AT LEAST 6" DEEP AS PER SPECIFICATIONS.

**LEGEND**

- 2.0% PROPOSED SLOPE
- PROPOSED DRAINAGE PATTERN
- LP LOW POINT



NO.	REVISION	DATE
1	REVISION 1	KMN 05/09/25

**JBS DISTRIBUTION EXPANSION  
MARSHALLTOWN, IOWA**

**DETAILED GRADING PLAN**

Clayton/Garber Associates, Inc.  
10 East Main Street  
Marshalltown, Iowa 50158  
Ph 641-752-6701  
www.cgaconsultants.com



PROJECT NO:  
25-DS-0026  
SHEET NO:  
C.302

**10. CONSTRUCTION NOTES:**

- (A) INSTALL SILT FENCE - TO BE REMOVED AT THE END OF THE PROJECT.
- (B) INSTALL INLET PROTECTION - TO BE REMOVED AT THE END OF THE PROJECT.
- (C) INSTALL CONCRETE WASH OUT AREA - TO BE REMOVED & RESTORED AT THE END OF THE PROJECT.
- (D) INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- (E) PROPOSED STOCKPILE LOCATION - TO BE REMOVED & RESTORED AT THE END OF THE PROJECT.
- (F) INSTALL ROLLED EROSION CONTROL PRODUCT - TO BE REMOVED AT THE END OF THE PROJECT.

**MARSHALL COUNTY  
POLLUTION PREVENTION PLAN**

ALL CONTRACTORS/SUBCONTRACTORS SHALL CONDUCT THEIR OPERATIONS IN A MANNER THAT MINIMIZES EROSION AND PREVENTS SEDIMENTS FROM LEAVING THE SITE AS DESCRIBED BELOW. THE PRIME CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE AND IMPLEMENTATION OF THE POLLUTION PREVENTION PLAN (PPP) FOR THEIR ENTIRE CONTRACT. THIS RESPONSIBILITY SHALL BE FURTHER SHARED WITH SUBCONTRACTORS WHOSE WORK IS A SOURCE OF POTENTIAL POLLUTION AS DEFINED IN THIS PPP.

**1. SITE DESCRIPTION**  
THIS POLLUTION PREVENTION PLAN (PPP) IS FOR BUILDING EXPANSION OF JBS DISTRIBUTION IN MARSHALLTOWN, IOWA. THIS PPP COVERS APPROXIMATELY 5.9 ACRES WITH AN ESTIMATED 3.9 ACRES BEING DISTURBED. THE PORTION OF THE PPP COVERED BY THIS CONTRACT HAS 3.9 ACRES BEING DISTURBED.

THE PPP IS LOCATED IN AN AREA OF TAMA -URBAN LAND COMPLEX AND COLO, OCCASIONALLY FLOODED - URBAN LAND COMPLEX.

REFER TO THIS SHEET, AND THE GRADING PLAN SHEETS (C.300 - C.302) FOR LOCATIONS OF TYPICAL SLOPES, DITCH GRADES, AND MAJOR STRUCTURAL AND NONSTRUCTURAL CONTROLS. A COPY OF THIS PLAN WILL BE ON FILE AT THE PROJECT ENGINEER'S OFFICE. RUNOFF FROM THIS WORK WILL FLOW INTO CITY OF MARSHALLTOWN STORM SEWER.

**2. POTENTIAL SOURCES OF POLLUTION**  
SITE SOURCES OF POLLUTION GENERATED AS A RESULT OF THIS WORK RELATE TO SILTS AND SEDIMENT WHICH MAY BE TRANSPORTED AS A RESULT OF A STORM EVENT. HOWEVER, THIS PPP PROVIDES CONVEYANCE FOR OTHER NON-PROJECT RUNOFF THAT IS BEYOND THE CONTROL OF THIS PPP. POTENTIALLY THIS RUNOFF CAN CONTAIN VARIOUS POLLUTANTS RELATED TO SITE-SPECIFIC LAND USES. EXAMPLES ARE:

RURAL AGRICULTURAL ACTIVITIES - RUNOFF FROM AGRICULTURAL LAND USE CAN POTENTIALLY CONTAIN CHEMICALS INCLUDING HERBICIDES, PESTICIDES, FUNGICIDES, AND FERTILIZERS.

COMMERCIAL AND INDUSTRIAL ACTIVITIES - RUNOFF FROM COMMERCIAL, INDUSTRIAL, AND COMMERCE LAND USE MAY CONTAIN CONSTITUENTS ASSOCIATED WITH THE SPECIFIC OPERATION. SUCH OPERATIONS ARE SUBJECT TO POTENTIAL LEAKS AND SPILLS WHICH COULD BE COMMINGLED WITH RUNOFF FROM THE FACILITY. POLLUTANTS ASSOCIATED WITH COMMERCIAL AND INDUSTRIAL ACTIVITIES ARE NOT READILY AVAILABLE SINCE THEY ARE TYPICALLY PROPRIETARY.

**3. CONTROLS**  
PRIOR TO BEGINNING GRADING, EXCAVATION, OR CLEARING AND GRUBBING OPERATIONS, SILT FENCE SHALL BE PLACED ALONG THE PERIMETER OF THE AREAS TO BE DISTURBED AT LOCATIONS WHERE RUNOFF CAN MOVE OFF SITE. VEGETATION IN AREAS NOT NEEDED FOR CONSTRUCTION SHALL BE PRESERVED. AS AREAS REACH THEIR FINAL GRADE, ADDITIONAL SILT FENCES, SILT BASINS, COMPOST FILLED SOCKS, INTERCEPTING DITCHES, SOD FLUMES, LETDOWNS, BRIDGE EDGE DRAINS, AND EARTH DIKES SHALL BE INSTALLED AS SPECIFIED IN THE PLANS AND/OR AS REQUIRED BY THE PROJECT ENGINEER. THIS WILL INCLUDE USING SILT FENCE OR EQUIVALENT AS DITCH CHECKS AND TO PROTECT INTAKES. TEMPORARY STABILIZING MULCH SHALL BE COMPLETED AS THE DISTURBED AREAS ARE CONSTRUCTED. IF CONSTRUCTION ACTIVITY IS NOT PLANNED TO OCCUR IN A DISTURBED AREA FOR AT LEAST 21 DAYS, THE AREA SHALL BE STABILIZED BY TEMPORARY MULCHING WITHIN 14 DAYS. OTHER STABILIZING METHODS SHALL BE USED OUTSIDE THE SEEDING PERIOD.

THIS WORK SHALL BE DONE IN ACCORDANCE WITH SECTION 9040 "EROSION CONTROL" OF THE URBAN STANDARD SPECIFICATION FOR PUBLIC IMPROVEMENT (SUDAS).

AS THE WORK PROGRESSES, ADDITIONAL EROSION CONTROL ITEMS SUCH AS STRAW BALE BARRIER, SEDIMENT TRAPS, AND OTHER APPROPRIATE MEASURES SHALL BE INSTALLED BY THE PRIME OR SUBCONTRACTOR AS DETERMINED BY THE ENGINEER AFTER FIELD INVESTIGATION. THE CONSTRUCTION WILL BE COMPLETED WITH THE ESTABLISHMENT OF PERMANENT PERENNIAL VEGETATION OF ALL DISTURBED AREAS.

**4. OTHER CONTROLS**  
CONTRACTOR DISPOSAL OF UNUSED CONSTRUCTION MATERIALS AND CONSTRUCTION MATERIAL WASTES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL WASTE DISPOSAL, SANITARY SEWER, OR SEPTIC SYSTEM REGULATIONS. IN THE EVENT OF A CONFLICT WITH OTHER GOVERNMENTAL LAWS, RULES AND REGULATIONS, THE MORE RESTRICTIVE LAWS, RULES OR REGULATIONS SHALL APPLY.

**5. APPROVED STATE OR LOCAL PLANS**  
DURING THE COURSE OF THIS CONSTRUCTION, IT IS POSSIBLE THAT SITUATIONS WILL ARISE WHERE UNKNOWN MATERIALS WILL BE ENCOUNTERED. WHEN SUCH SITUATIONS ARE ENCOUNTERED, THEY WILL BE HANDLED ACCORDING TO ALL FEDERAL, STATE AND LOCAL REGULATIONS IN EFFECT AT THE TIME.

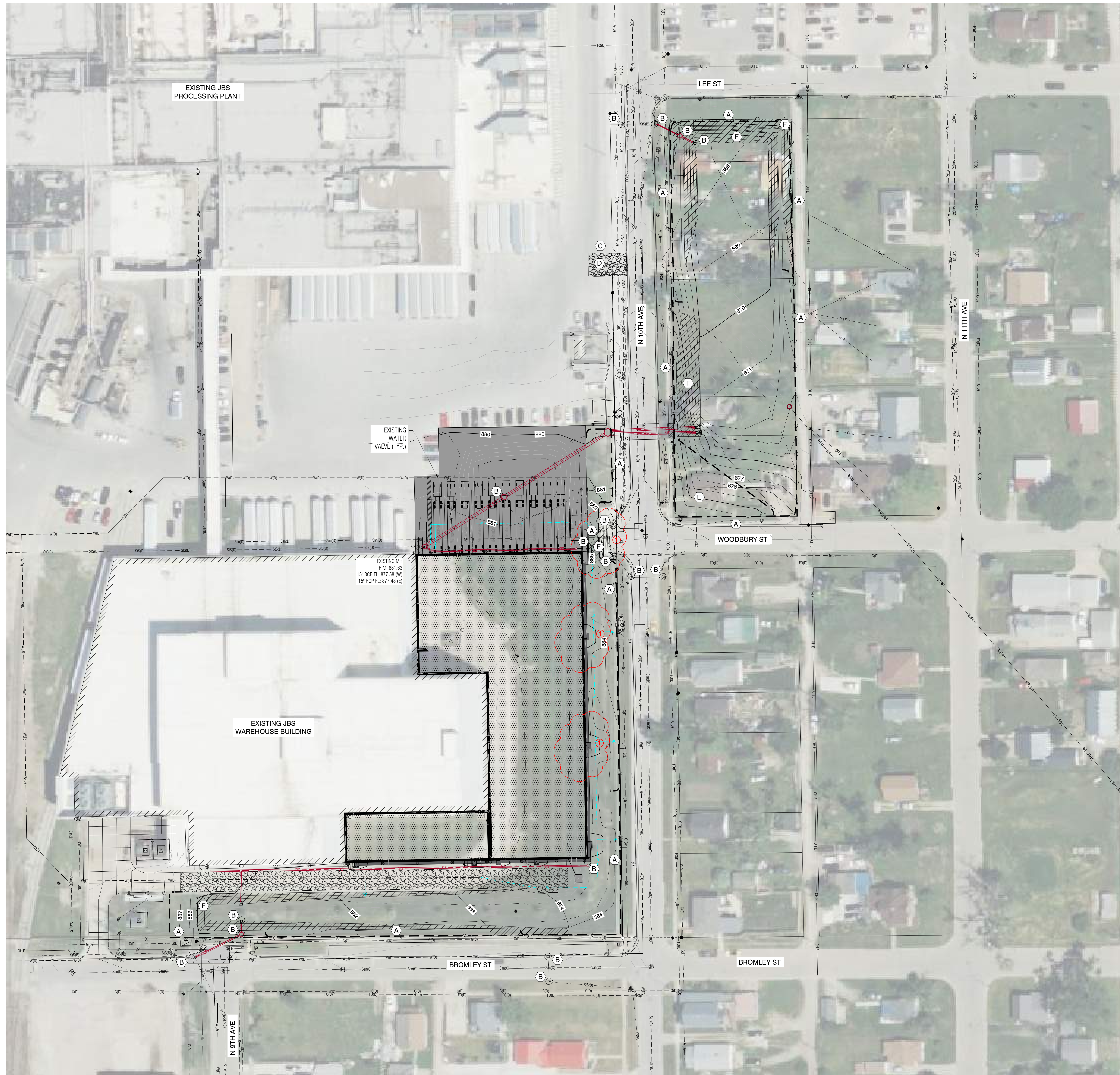
**6. MAINTENANCE**  
THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL TEMPORARY EROSION CONTROL MEASURES IN PROPER WORKING ORDER, INCLUDING CLEARING, REPAIRING, OR REPLACING THEM THROUGHOUT THE CONTRACT PERIOD. CLEANING OF SILT CONTROL DEVICES SHALL BEGIN WHEN THE FEATURES HAVE LOST 50% OF THEIR CAPACITY.

**7. INSPECTIONS**  
INSPECTIONS SHALL BE MADE JOINTLY BY THE CONTRACTOR AND THE CONTRACTING AUTHORITY EVERY SEVEN CALENDAR DAYS. THE CONTRACTOR SHALL IMMEDIATELY BEGIN CORRECTIVE ACTION ON ALL DEFICIENCIES FOUND. THE FINDINGS OF THIS INSPECTION SHALL BE RECORDED IN THE PROJECT DIARY. THIS PPP MAY BE REVISED BASED ON THE FINDINGS OF THE INSPECTION. THE CONTRACTOR SHALL IMPLEMENT ALL REVISIONS. ALL CORRECTIVE ACTIONS SHALL BE COMPLETED WITHIN 3 CALENDAR DAYS OF THE INSPECTION.

**8. NON-STORM DISCHARGES**  
THIS INCLUDES SUBSURFACE DRAINS (I.E. LONGITUDINAL AND STANDARD SUBDRAINS), SLOPE DRAINS AND BRIDGE END DRAINS. THE VELOCITY OF THE DISCHARGE FROM THESE FEATURES MAY BE CONTROLLED BY THE USE OF PATIO BLOCKS, CLASS A STONE OR EROSION STONE.

**9. GENERAL NOTES**

- A. THE ABOVE PLAN IS NOT THE COMPLETE STORM WATER PREVENTION PLAN (SWPPP), BUT RATHER A PART OF THE SWPPP THAT IS TO BE UPDATED REGULARLY BY THE CONTRACTOR. IT IS PRIME CONTRACTOR'S RESPONSIBILITY TO DEVELOP AND UPDATE THE SWPPP PLAN AS NEED AS WELL AS CONDUCT ANY NECESSARY INSPECTIONS IN ACCORDANCE WITH IOWA DNR AND EPA GUIDELINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ANY DEFICIENCIES, CORRECTING THOSE DEFICIENCIES IMMEDIATELY AND DOCUMENTING SUCH WITH THE SWPPP. ALL EROSION CONTROL ITEMS EXCEPT THE TURF REINFORCEMENT MAT SHALL BE REMOVED AT THE END OF THE PROJECT.
- B. ALL STOCK PILES NOT INTENDED TO BE REDISTRIBUTED IN 21 DAYS MUST BE SEEDED OR OTHERWISE CONTROLLED WITH EROSION CONTROL FEATURES BY THE 14TH DAY AFTER STOCK PILING. STOCK PILE LOCATIONS SHALL BE APPROVED BY THE OWNER.
- C. THE GENERAL CONTRACTOR SHALL PROVIDE CONTAINMENT OF ALL SOURCES OF POTENTIAL POLLUTION INCLUDING FUELING AREA, PORTABLE SANITARY FACILITIES, WASTE DEPOSITORY AREAS (DUMPSTER LOCATIONS), AND OTHER POLLUTION SOURCES. ALL AREAS WHERE CONCRETE TRUCKS ARE WASHED OUT SHALL BE DEFINED AND CONTAINED ON SITE. CONCRETE WASHOUT AREA SHALL BE CLEARLY MARKED AND THE CONTRACTOR SHALL CLEAN OUT THIS AREA PRIOR TO FINALIZING THE PROJECT (INCIDENTAL). ALL EROSION CONTROL DEVICES MUST BE MAINTAINED AS STATED IN THE POLLUTION PREVENTION PLAN.
- D. CONTRACTOR SHALL TAKE PRECAUTIONS TO INSURE THAT EQUIPMENT, VEHICLES, AND PLANTING OPERATIONS DO NOT DISTURB OR DAMAGE EXISTING GRADES, WALLS, DRIVES, PAVEMENT, UTILITIES, PLANTS, LAWNS, IRRIGATION SYSTEMS, AND OTHER FACILITIES. REPAIR, REPLACE, AND/OR RETURN TO ORIGINAL CONDITION ANY DAMAGED ITEM, WITHOUT ADDITIONAL COMPENSATION.
- E. THE CONTRACTOR SHALL PREVENT ACCUMULATION OF EARTH, SILTATION, OR DEBRIS ON ADJOINING PUBLIC OR PRIVATE PROPERTY FROM THE PROJECT SITE. REMOVE ANY ACCUMULATION OF EARTH OR DEBRIS IMMEDIATELY AND TAKE REMEDIAL ACTIONS FOR PREVENTION.



NO.	REVISION	BY	DATE
1	REVISION 1	SJC	05/09/25

DESIGNED:	DATE:
DRAWN:	DATE:
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APPROVED:	DATE:



CITY OF MARSHALLTOWN

**POST CONSTRUCTION STORM WATER MANAGEMENT PLAN**

THIS POST CONSTRUCTION STORM WATER MANAGEMENT PLAN (PCSWMP) SHALL REMAIN IN PLACE FOR THE LIFE OF THE EXISTING FACILITY AS SHOWN ON THE AS-BUILT PLAN SHEET. ANY SITE MODIFICATION PERFORMED AFTER FINAL INSTALLATION OF THE POST CONSTRUCTION STORM WATER MANAGEMENT DEVICES MAY RESULT IN THE NECESSITY TO MODIFY THE PCSWMP. APPROVAL FROM THE CITY OF MARSHALLTOWN IS REQUIRED BEFORE ANY FUTURE MODIFICATIONS MAY BE PERFORMED. CONTACT CLAPSADDLE-GARBER ASSOCIATES OR THE CITY OF MARSHALLTOWN, PUBLIC WORKS DEPARTMENT FOR ASSISTANCE.

**1 SITE DESCRIPTION**

THIS POST CONSTRUCTION STORM WATER MANAGEMENT PLAN (PCSWMP) IS FOR BUILDING EXPANSION OF JBS DISTRIBUTION IN MARSHALLTOWN, IA.

THIS PCSWMP COVERS APPROXIMATE 5.9 ACRES WITH AN ESTIMATED 3.9 ACRES BEING DISTURBED.

REFER TO THIS SHEET FOR LOCATIONS OF POST CONSTRUCTION STORM WATER MANAGEMENT DEVICES.

**2 CONTROLS**

THE PROPOSED POST CONSTRUCTION STORM WATER MANAGEMENT DEVICES ARE SEPARATE FROM STORM WATER RUNOFF CONTROLS REQUIRED FOR THE NPDES GENERAL PERMIT NO. 2 AND THE MARSHALLTOWN COSESCO PERMIT. WHEREAS RUNOFF CONTROL DEVICES ARE REMOVED UPON SITE STABILIZATION, POST CONSTRUCTION STORM WATER MANAGEMENT DEVICES ARE CONSTRUCTED DURING THE NORMAL COURSE OF SITE CONSTRUCTION AND MAINTAINED PERMANENTLY. IT IS IMPERATIVE THAT THE OWNER RECOGNIZES THE RESPONSIBILITY THAT IS REQUIRED TO BE IN COMPLIANCE WITH THE CITY OF MARSHALLTOWN'S POST CONSTRUCTION STORM WATER MANAGEMENT PLAN ORDINANCE.

ALL DEVICES SHALL COMPLY WITH THE SPECIFICATIONS AS DEFINED IN THE IOWA STORM WATER MANAGEMENT MANUAL.

THE (PROJECT DEVELOPMENT) INCORPORATES GRASS SWALES, INFILTRATION TRENCHES, BIO RETENTION SYSTEMS, DRY AND WET SWALES, NATIVE LANDSCAPING, ROCK FILTRATION, HYDRODYNAMIC DEVICES AND POROUS PAVEMENTS FOR IMPROVING STORM WATER QUALITY, REDUCING RUNOFF VOLUME, AND REDUCING THE RUNOFF RATE. A DRY OR WET DETENTION BASIN WILL PROVIDE STORAGE TO REDUCE THE RUNOFF RATE.

DESCRIBE HOW THE STORM WATER MANAGEMENT WILL WORK (WHERE WILL IT GO, HOW DOES IT GET THERE? HOW WILL IT REACT TO SMALL PRECIPITATION EVENTS AND/OR LARGE PRECIPITATION EVENTS. DESCRIBE OVERLAND FLOW PATH OR BACKUP SYSTEM.

DESCRIBE HOW ROOF DRAINS WILL WORK WITH SYSTEM (HOW THEY GET TO IT, LOW RAINFALL EVENTS, HIGH RAINFALL EVENTS, OVERFLOW PATH OR BACK UP SYSTEM)

**SUMMARY OF CONTROLS**

- DETENTION BASIN:
- STORE FOR 100-YR POST AND RELEASE AT 5-YR PRE:
  - 5-YR PRE-DEVELOPED TOTAL RELEASE = 18.34 CFS\*
  - 100-YR POST DEVELOPED RELEASE = 2.57 CFS
  - REQUIRE STORAGE = 29,932 CF

\*PRE RELEASE RATE WAS DEVELOPED FOR THE ENTIRE SITE, THE STORAGE AND RELEASE RATES FOR BOTH DETENTION AREAS & UNDETAINED FLOW WAS ADDED TOGETHER, AND IS BELOW THE 5-YEAR PRE-DEVELOPED RELEASE RATE.

**3 MAINTENANCE**

ONCE THE CONTRACTOR HAS COMPLETED CONSTRUCTION, AND AN IOWA LICENSED PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT HAS PREPARED AN AS-BUILT DRAWING, THEN THE OWNER WILL BE RESPONSIBLE FOR MAINTAINING THE POST CONSTRUCTION STORM WATER MANAGEMENT DEVICES AND COMPLYING WITH THE CITY OF MARSHALLTOWN'S POST CONSTRUCTION STORM WATER MANAGEMENT ORDINANCE.

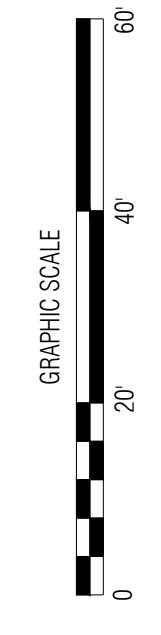
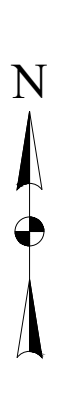
**4 INSPECTIONS**

REGULAR INSPECTIONS SHALL BE PERFORMED BY THE OWNER TO ENSURE THE DEVICES ARE IN CONTINUAL COMPLIANCE WITH THE AS-BUILT PLANS AND SPECIFICATIONS.

THE CITY SHALL BE PERMITTED TO ENTER AND INSPECT ANY PROPERTY SUBJECT TO REGULATION AFTER THE CITY HAS FIRST MADE A REASONABLE ATTEMPT TO CONTACT THE PROPERTY OWNER OR A REPRESENTATIVE OF THE OWNER AS STIPULATED IN THE ORDINANCE.

**5 APPLICABLE ORDINANCE**

THIS PLAN IS REQUIRED UNDER CHAPTER 28, ARTICLE VII, SECTIONS 28-201 TO 28-211 OF THE MARSHALLTOWN CITY CODE. IT IS ADVISED THAT THE OWNER BECOMES FAMILIAR WITH THE REQUIREMENTS OF SAID ORDINANCE TO ENSURE COMPLIANCE AFTER THE AS-BUILT PLAN HAS BEEN PROVIDED AND THE ENGINEER IS NO LONGER ACTIVELY INVOLVED IN THE PROJECT.



NO.	REVISION	BY	DATE

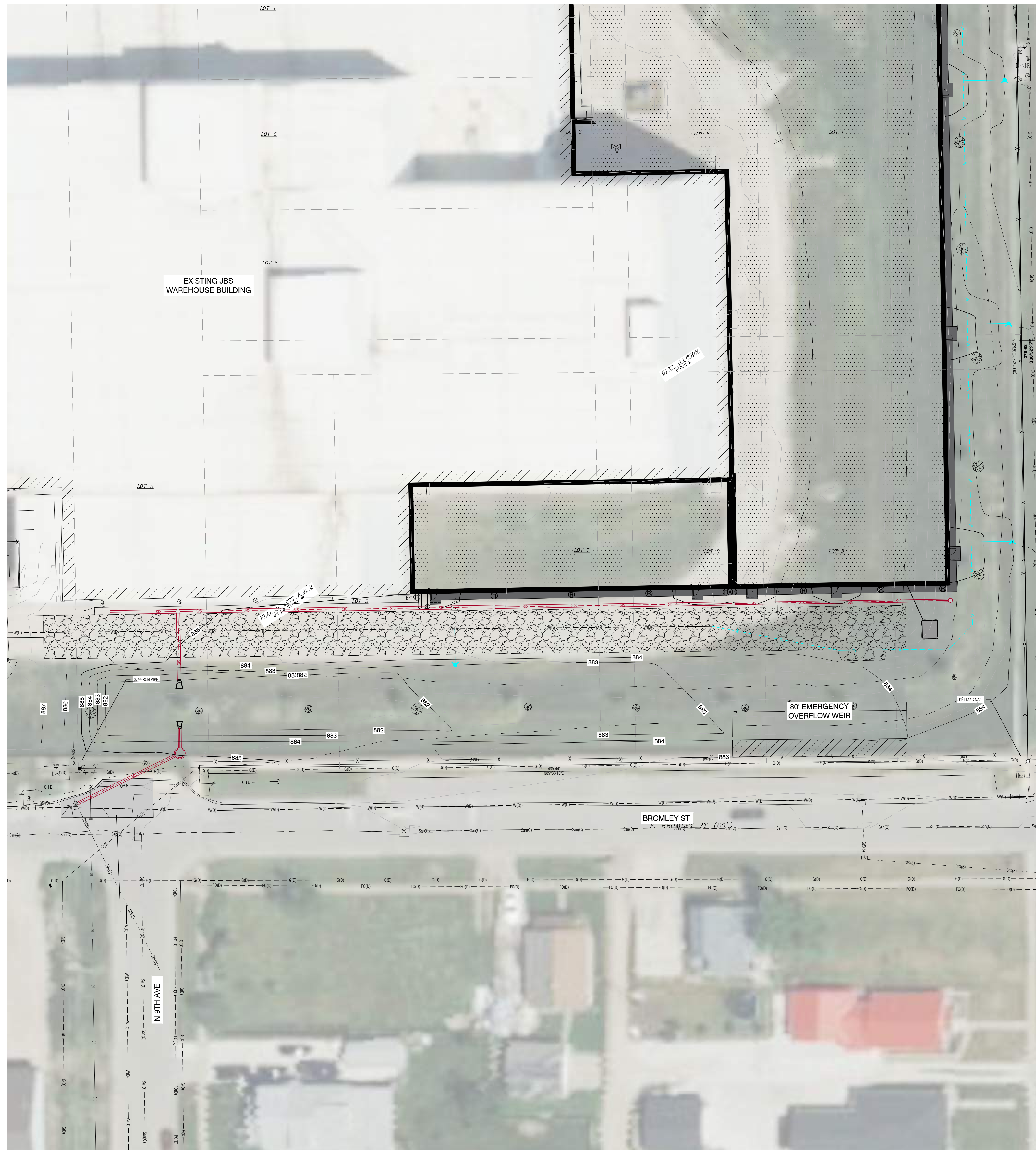
PCSWMP - NORTH DETENTION AREA

JBS DISTRIBUTION EXPANSION MARSHALLTOWN, IOWA

Clapsaddle Garber Associates, Inc.  
18 East Main Street  
Marshalltown, Iowa 50158  
Ph 641-752-6701  
www.cgsaonline.com



PROJECT NO:  
25-DS-0026  
SHEET NO:  
C.311



CITY OF MARSHALLTOWN

**POST CONSTRUCTION STORM WATER MANAGEMENT PLAN**

THIS POST CONSTRUCTION STORM WATER MANAGEMENT PLAN (PCSWMP) SHALL REMAIN IN PLACE FOR THE LIFE OF THE EXISTING FACILITY AS SHOWN ON THE AS-BUILT PLAN SHEET. ANY SITE MODIFICATION PERFORMED AFTER FINAL INSTALLATION OF THE POST CONSTRUCTION STORM WATER MANAGEMENT DEVICES MAY RESULT IN THE NECESSITY TO MODIFY THE PCSWMP. APPROVAL FROM THE CITY OF MARSHALLTOWN IS REQUIRED BEFORE ANY FUTURE MODIFICATIONS MAY BE PERFORMED. CONTACT CLAPSADDLE-GARBER ASSOCIATES OR THE CITY OF MARSHALLTOWN, PUBLIC WORKS DEPARTMENT FOR ASSISTANCE.

**1 SITE DESCRIPTION**

THIS POST CONSTRUCTION STORM WATER MANAGEMENT PLAN (PCSWMP) IS FOR BUILDING EXPANSION OF JBS DISTRIBUTION IN MARSHALLTOWN, IA.

THIS PCSWMP COVERS APPROXIMATE 5.9 ACRES WITH AN ESTIMATED 3.9 ACRES BEING DISTURBED. REFER TO THIS SHEET FOR LOCATIONS OF POST CONSTRUCTION STORM WATER MANAGEMENT DEVICES.

**2 CONTROLS**

THE PROPOSED POST CONSTRUCTION STORM WATER MANAGEMENT DEVICES ARE SEPARATE FROM STORM WATER RUNOFF CONTROLS REQUIRED FOR THE NPDES GENERAL PERMIT NO. 2 AND THE MARSHALLTOWN COSESCO PERMIT. WHEREAS RUNOFF CONTROL DEVICES ARE REMOVED UPON SITE STABILIZATION, POST CONSTRUCTION STORM WATER MANAGEMENT DEVICES ARE CONSTRUCTED DURING THE NORMAL COURSE OF SITE CONSTRUCTION AND MAINTAINED PERMANENTLY. IT IS IMPERATIVE THAT THE OWNER RECOGNIZES THE RESPONSIBILITY THAT IS REQUIRED TO BE IN COMPLIANCE WITH THE CITY OF MARSHALLTOWN'S POST CONSTRUCTION STORM WATER MANAGEMENT PLAN ORDINANCE.

ALL DEVICES SHALL COMPLY WITH THE SPECIFICATIONS AS DEFINED IN THE IOWA STORM WATER MANAGEMENT MANUAL.

THE (PROJECT DEVELOPMENT) INCORPORATES GRASS SWALES, INFILTRATION TRENCHES, BIO RETENTION SYSTEMS, DRY AND WET SWALES, NATIVE LANDSCAPING, ROCK FILTRATION, HYDRODYNAMIC DEVICES AND POROUS PAVEMENTS FOR IMPROVING STORM WATER QUALITY, REDUCING RUNOFF VOLUME, AND REDUCING THE RUNOFF RATE. A DRY OR WET DETENTION BASIN WILL PROVIDE STORAGE TO REDUCE THE RUNOFF RATE.

DESCRIBE HOW THE STORM WATER MANAGEMENT WILL WORK (WHERE WILL IT GO, HOW DOES IT GET THERE? HOW WILL IT REACT TO SMALL PRECIPITATION EVENTS AND/OR LARGE PRECIPITATION EVENTS. DESCRIBE OVERLAND FLOW PATH OR BACKUP SYSTEM.

DESCRIBE HOW ROOF DRAINS WILL WORK WITH SYSTEM (HOW THEY GET TO IT, LOW RAINFALL EVENTS, HIGH RAINFALL EVENTS, OVERFLOW PATH OR BACK UP SYSTEM)

**SUMMARY OF CONTROLS**

- DETENTION BASIN:
- STORE FOR 100-YR POST AND RELEASE AT 5-YR PRE:
  - 5-YR PRE-DEVELOPED RELEASE = 18.34 CFS\*
  - 100-YR POST DEVELOPED RELEASE = 884.01 CFS
  - REQUIRE STORAGE = 17,900 CF

\*PRE RELEASE RATE WAS DEVELOPED FOR THE ENTIRE SITE, THE STORAGE AND RELEASE RATES FOR BOTH DETENTION AREAS & UNDETAINED FLOW WAS ADDED TOGETHER, AND IS BELOW THE 5-YEAR PRE-DEVELOPED RELEASE RATE.

**3 MAINTENANCE**

ONCE THE CONTRACTOR HAS COMPLETED CONSTRUCTION, AND AN IOWA LICENSED PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT HAS PREPARED AN AS-BUILT DRAWING, THEN THE OWNER WILL BE RESPONSIBLE FOR MAINTAINING THE POST CONSTRUCTION STORM WATER MANAGEMENT DEVICES AND COMPLYING WITH THE CITY OF MARSHALLTOWN'S POST CONSTRUCTION STORM WATER MANAGEMENT ORDINANCE.

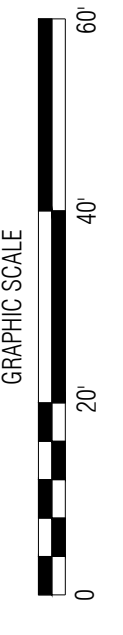
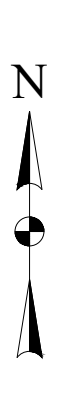
**4 INSPECTIONS**

REGULAR INSPECTIONS SHALL BE PERFORMED BY THE OWNER TO ENSURE THE DEVICES ARE IN CONTINUAL COMPLIANCE WITH THE AS-BUILT PLANS AND SPECIFICATIONS.

THE CITY SHALL BE PERMITTED TO ENTER AND INSPECT ANY PROPERTY SUBJECT TO REGULATION AFTER THE CITY HAS FIRST MADE A REASONABLE ATTEMPT TO CONTACT THE PROPERTY OWNER OR A REPRESENTATIVE OF THE OWNER AS STIPULATED IN THE ORDINANCE.

**5 APPLICABLE ORDINANCE**

THIS PLAN IS REQUIRED UNDER CHAPTER 28, ARTICLE VII, SECTIONS 28-201 TO 28-211 OF THE MARSHALLTOWN CITY CODE. IT IS ADVISED THAT THE OWNER BECOMES FAMILIAR WITH THE REQUIREMENTS OF SAID ORDINANCE TO ENSURE COMPLIANCE AFTER THE AS-BUILT PLAN HAS BEEN PROVIDED AND THE ENGINEER IS NO LONGER ACTIVELY INVOLVED IN THE PROJECT.



NO.	REVISION	BY	DATE

DESIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_ DATE: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_ DATE: \_\_\_\_\_  
 APPROVED: \_\_\_\_\_ DATE: \_\_\_\_\_

**JBS DISTRIBUTION EXPANSION**  
**SOUTH DETENTION AREA**  
 MARSHALLTOWN, IOWA

Clapsaddle Garber Associates, Inc.  
 18 East Main Street  
 Marshalltown, Iowa 50158  
 Ph 641-752-6701  
 www.cgaconsultants.com



PROJECT NO:  
 25-DS-0026  
 SHEET NO:  
 C.312

**LANDSCAPE NOTES:**

- PLANT QUANTITIES ARE FOR INFORMATION ONLY. DRAWING SHALL PREVAIL IF CONFLICT OCCURS. CONTRACTOR IS RESPONSIBLE FOR CALCULATING OWN QUANTITIES AND BASING BID ACCORDINGLY.
- CONTRACTOR SHALL PLACE RUBBER MULCH AROUND ALL TREES AND IN SPECIFIED PLANTING BEDS(SEE LANDSCAPE CONSTRUCTION NOTES) TO A DEPTH OF 3". WALNUT PRODUCTS ARE PROHIBITED.
- KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK, ANSI 260-2004, OR MOST RECENT EDITION.
- THE CONTRACTOR SHALL REPORT SUBSURFACE SOIL OR DRAINAGE PROBLEMS TO THE ENGINEER.
- THE CONTRACTOR SHALL SHOW PROOF OF PROCUREMENT, SOURCES, QUANTITIES AND VARIETIES FOR ALL SHRUBS, PERENNIALS, ORNAMENTAL GRASSES WITHIN 21 DAYS FOLLOWING THE AWARD OF CONTRACT. TIMELY PROCUREMENT OF ALL PLANT MATERIAL IS ESSENTIAL TO THE SUCCESSFUL COMPLETION AND INITIAL ACCEPTANCE OF THE PROJECT.
- SUBSTITUTIONS SHALL ONLY BE ALLOWED WHEN THE CONTRACTOR HAS EXHAUSTED ALL SOURCES FOR THE SPECIFIED MATERIAL, AND HAS PROVEN THAT THE SPECIFIED MATERIAL IS NOT AVAILABLE. THE CONTRACTOR MUST PROVIDE NAME AND VARIETY OF SUBSTITUTION TO THE ENGINEER FOR APPROVAL PRIOR TO TAGGING OR PLANTING. SUBSTITUTIONS SHALL BE NEAREST EQUIVALENT SIZE OF VARIETY OF PLANT HAVING SAME ESSENTIAL CHARACTERISTICS.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN, SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECTS, DISEASE AND INJURIES, WITH HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES. SIZES SHALL BE EQUAL TO OR EXCEEDING SIZES INDICATED ON THE PLANT SCHEDULE. THE CONTRACTOR SHALL SUPPLY PLANTS IN QUANTITY AS SHOWN ON DRAWINGS.
- STAKE OR PLACE ALL PLANTS IN FIELD AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER FOR APPROVAL BY THE OWNER PRIOR TO PLANTING. REMOVE STAKING AT END OF WARRANTY PERIOD.
- ALL DISTURBED AREAS NOT OTHERWISE COVERED BY BUILDING, PAVEMENT, AND LANDSCAPE BEDS SHALL BE COVERED WITH TYPE 1 SEEDING OR AS APPROVED BY THE OWNER.
- CONTRACTOR SHALL PLACE TOPSOIL FROM THE SITE OR SOIL CONDITIONED OR TILLED INTO THE TOP 6 INCHES WITH AT LEAST A 5% ORGANIC CONTENT, INTO REQUIRED PLANTING AREAS(YARD AREAS, BUFFER YARDS, OR PLANTERS).
- STOCKPILED TOPSOIL SHOULD BE PLIABLE LOAM, SECURE FROM NATURALLY WELL-DRAINED AREAS, FREE OF ADMIXTURE OF SUBSOIL, FREE FROM CLAY LUMPS + STONE AND OTHER DEBRIS OVER 1 INCH IN DIAMETER.(PER IOWA DOT SPEC. SP-155079)
- TOPSOIL SHALL HAVE A PH VALUE OF MINIMUM 5.5 AND MAXIMUM OF 7.0.(PER IOWA DOT SPEC. SP-155079)
- CONTRACTOR IS RESPONSIBLE FOR TESTING TOPSOIL AND SUBMITTING TEST RESULTS TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO USE AND PLACEMENT.(PER IOWA DOT SPEC. SP-155079)
- THE REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY. EXISTING LANDSCAPING BUFFER IN THE NORTH WILL BE PRESERVED TO PROVIDE SCREENING FROM NEIGHBORING PROPERTY OWNERS IN THE NORTH & IN THE WEST.
- ALL WIRE, TWINE AND BURLAP SHALL BE REMOVED FROM THE ROOT BALL OF TREES PRIOR TO PLANTING.

**LANDSCAPE CONSTRUCTION NOTES:**

- TYPE 1 (PERMANENT LAWN MIXTURE)
- TYPE 2 (PERMANENT COOL-SEASON SLOPE AND DITCH MIXTURE)

**SITE INFORMATION:**

TOTAL NE DISTURBED AREA: 50,752 SF (1.16 AC)  
 TOTAL SW DISTURBED AREA: 115,357 SF (2.64 AC)  
 TOTAL TYPE 1 SEEDING AREA: 22,381 SF (0.51 AC)  
 TOTAL TYPE 2 SEEDING AREA: 66,961 SF (1.53 AC)

**PLANT SCHEDULE**

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE
<b>Deciduous Overstory Trees</b>				
BN	Betula nigra	River Birch	8	2" B&B
AR	Acer rubrum 'Frank Jr.'	Redpointe Maple	7	2" B&B
SN	Nysaa sylvatica	Black Tupelo	7	2" B&B (1)
<b>Deciduous Understory Trees</b>				
AG	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry(Tree Form and Fruitless)	3	1.5" B&B
CA	Cornus alternifolia	Pagoda Dogwood	2	1.5" B&B
RT	Rhus typhina	Staghorn Sumac	2	1.5" B&B
MI	Malus ioensis	Prairie Crabapple	2	1.5" B&B (1)
<b>Shrubs</b>				
TM	Taxus x media	Stonehenge Dark Druid Yew	30	#5 CNT
IV	Itea virginica 'Henry's Garnet'	Virginia Sweetspire	22	#5 CNT
BS	Buxus sinica var. insularis 'Wintergreen'	Korean Boxwood	16	#5 CNT
TO	Thuja occidentalis 'BaliJohn'	Technito Arborvitae	14	#5 CNT

**OFF-STREET LOADING REQUIREMENTS**

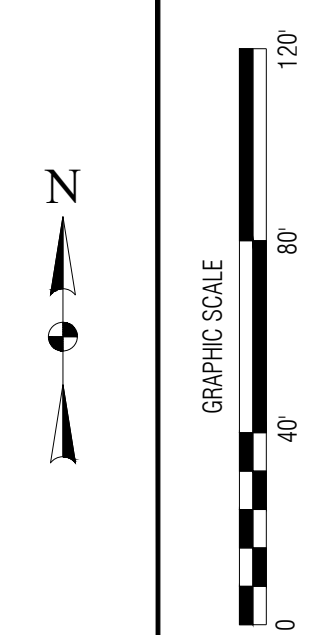
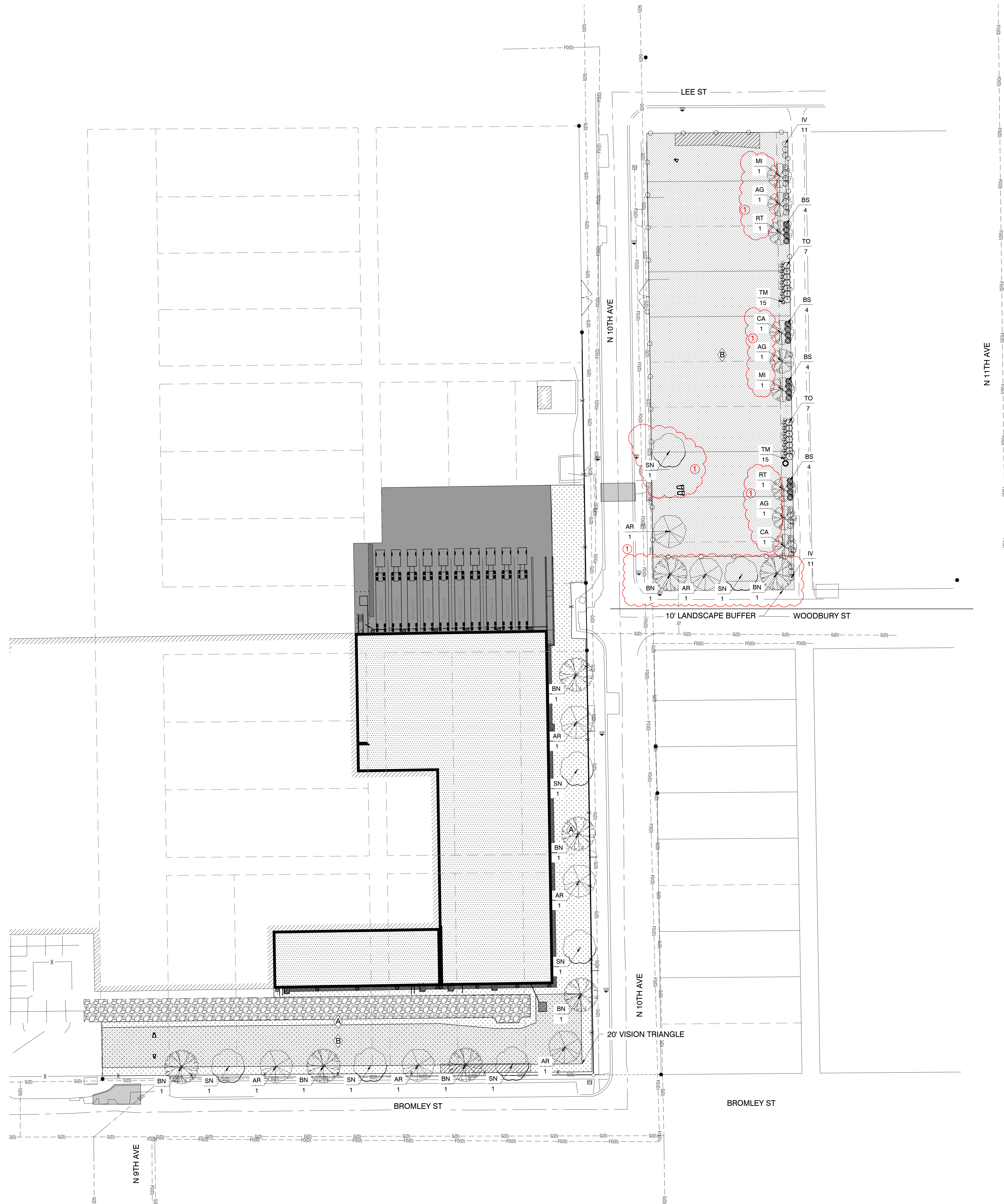
#	ZONING DESCRIPTION	REQUIRED	PROPOSED
156.E.007 Off-Street Loading(C)(3)			
1	Buffering, Docks and loading spaces shall be located behind buildings and screened from view from abutting properties and public right-of-way.	Screening from right-of-way	Chain Link Fencing with Privacy Slats

**SITE TREE REQUIREMENTS**

#	ZONING DESCRIPTION	REQUIRED	PROPOSED
156.F.003(C)(3)(a) Development Landscaping			
1	A Minimum of Five Overstory Trees per Acre NE Lot Disturbed Area: 50,752 SF (1.16 AC) SW Lot Disturbed Area: 115,357 SF (2.64 AC)	NE Lot: 6 Trees SE Lot: 14 Trees	NE Lot: 6 Trees SE Lot: 16 (1)

**BUFFER REQUIREMENTS**

#	ZONING DESCRIPTION	REQUIRED	PROPOSED
156.F.004-1 Bufferyard Classifications			
	Option 2: Landscape with Berm, Wall, or Fence Type C: 10'(Gl abutting RM)	NE Lot 9 Understory 82 Shrubs W/ Fence	NE Lot 9 Understory 82 Shrubs W/Fence
1	Every 100 LF(2 Understory and 20 Shrubs)		
156.F.004(D) Bufferyard Locations			
	Properties separated by public R.O.W. are	SW Lot N/A Adjacent to Public Street/ R.O.W.	SW Lot Chain Link Fencing W/ Privacy Slats & 16 Overstory



NO.	REVISION	DATE	BY
1	REVISION 1	05/09/25	SJC

DESIGNED:	DATE:

CHECKED:	DATE:

APPROVED:	DATE:

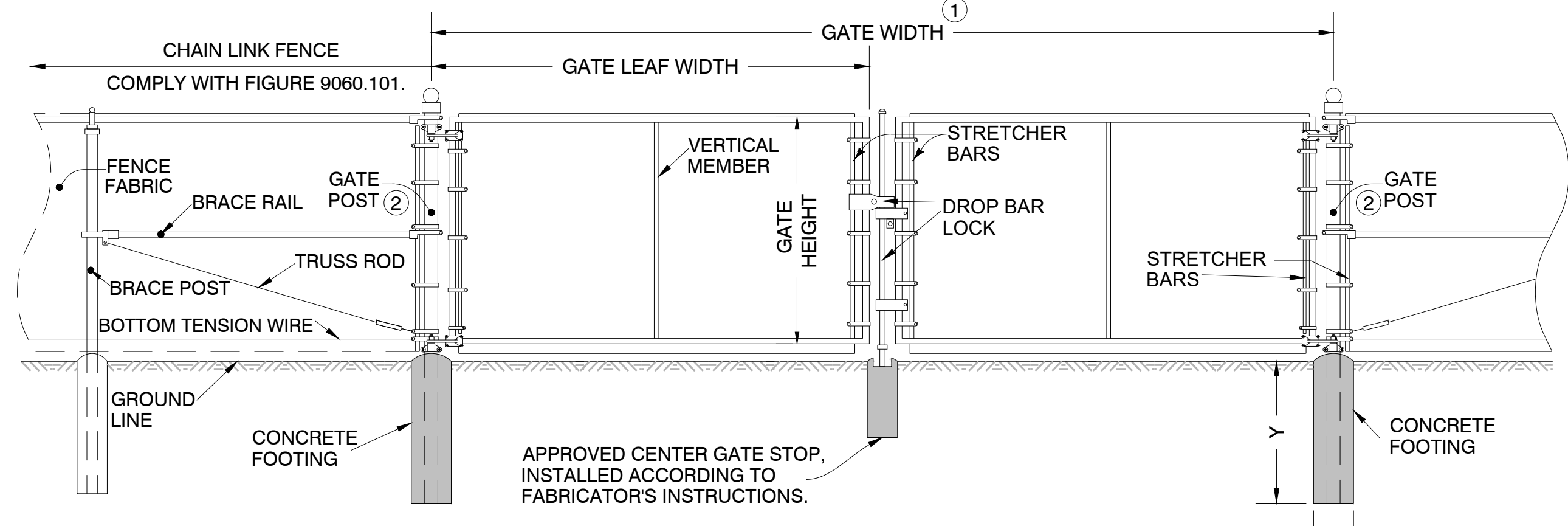
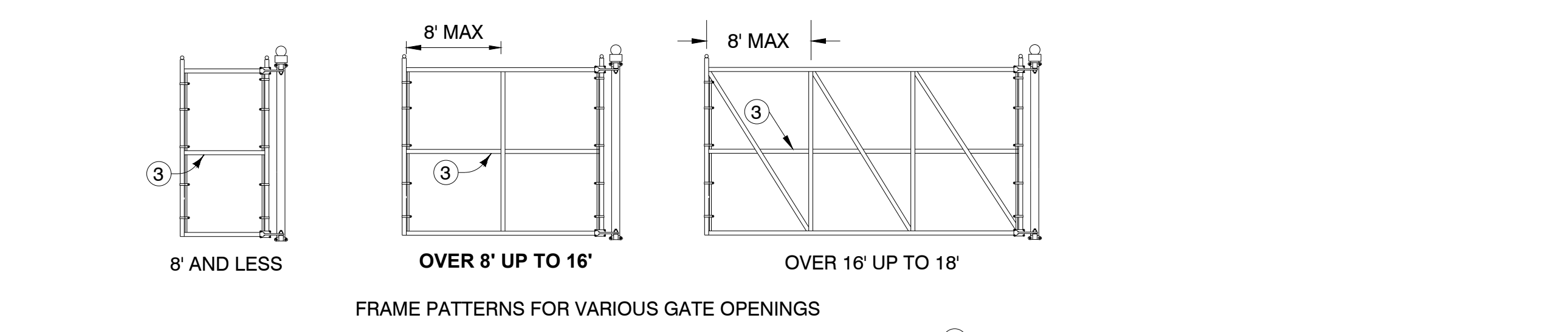
**OVERALL LANDSCAPE PLAN**

**JBS DISTRIBUTION EXPANSION MARSHALLTOWN, IOWA**

Clansdale Garber Associates, Inc.  
 16 East Main Street  
 Marshalltown, Iowa 50158  
 Ph 641-752-6701  
 www.cgcaresults.com



PROJECT NO:  
25-DS-0026  
 SHEET NO:  
C.400

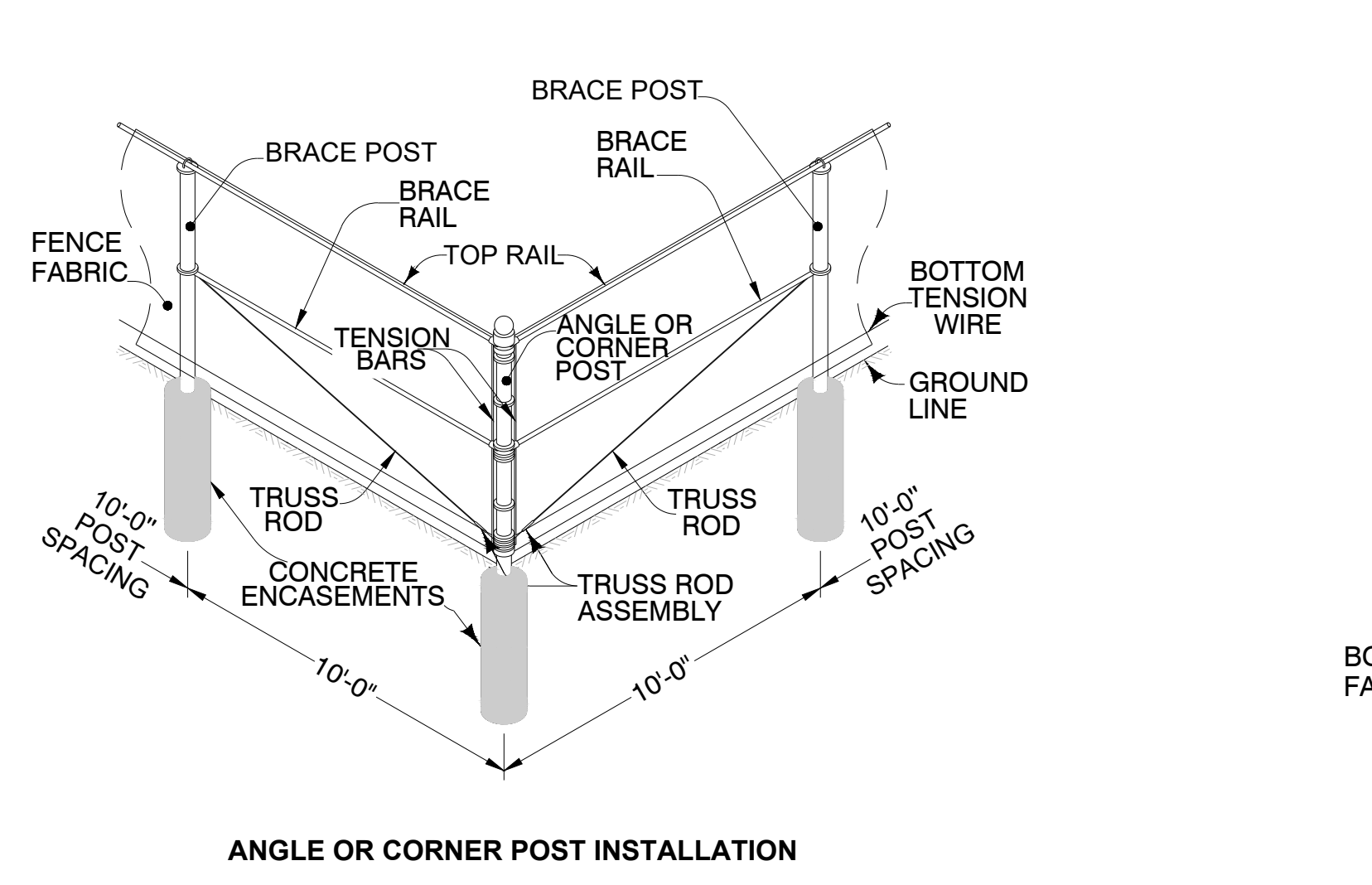
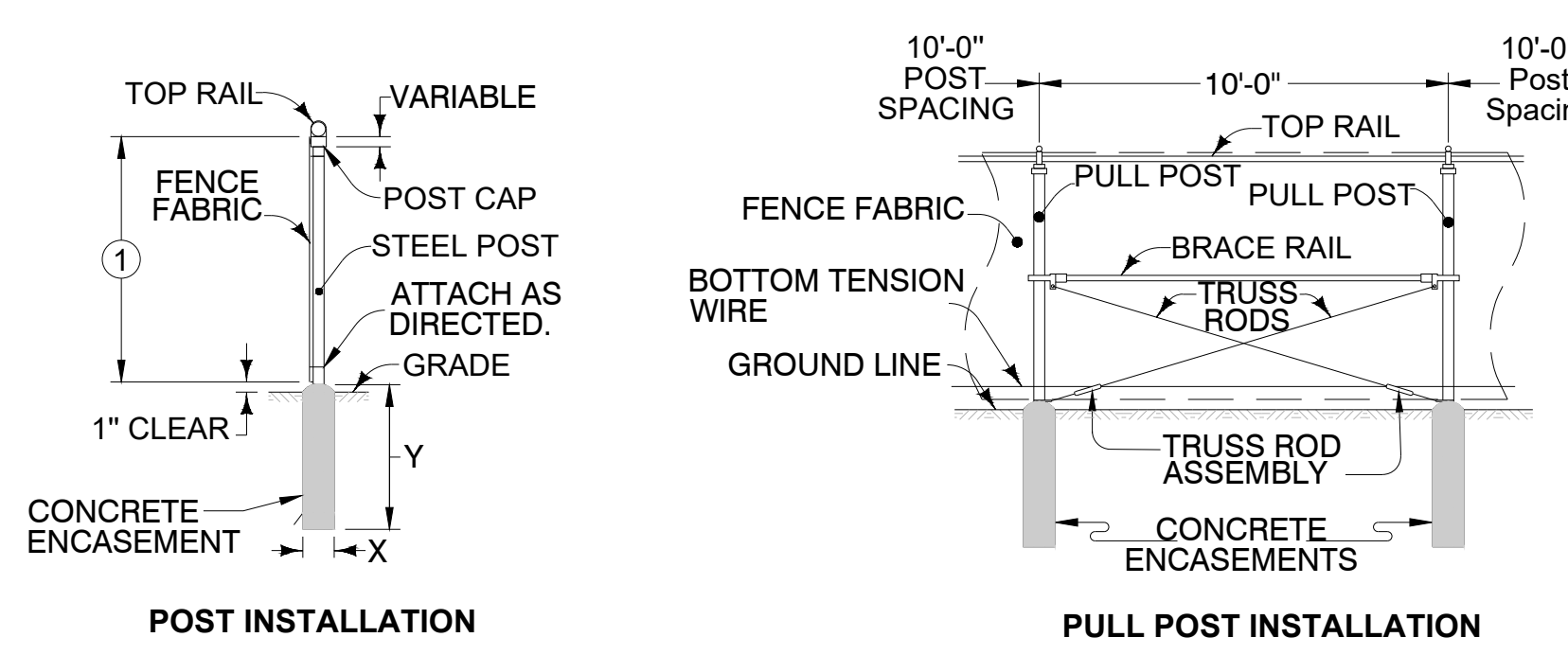


**GATE POST FOOTING DEPTH AND DIAMETER**

GATE HEIGHT	GATE LEAF WIDTH	X	Y
6'-0" or less	4'-0" or less	0'-10"	3'-0"
6'-0" or less	over 4'-0" to 10'-0"	0'-12"	3'-0"
6'-0" or less	over 10'-0" to 18'-0"	1'-2"	3'-0"
over 6'-0"	6'-0" or less	0'-10"	3'-0"
over 6'-0"	over 6'-0" to 12'-0"	1'-0"	3'-0"
over 6'-0"	over 12'-0" to 18'-0"	1'-4"	3'-6"
over 6'-0"	over 18'-0" to 24'-0"	1'-6"	4'-0"

- GATE INSTALLATION**
- DOUBLE SWING GATE IS REQUIRED ONLY FOR WIDTHS GREATER THAN 16 FEET. EXACT DETAILS OF GATE DESIGN ARE SUBJECT TO APPROVAL OF THE ENGINEER. FURNISH GATE WITH APPROVED STOP, LATCH, AND MEANS FOR LOCKING. INSTALL AS RECOMMENDED BY THE MANUFACTURER.
  - END POST USED TO TERMINATE RUN OF FENCE IF NO GATE IS PROPOSED.
  - HORIZONTAL MEMBERS ARE REQUIRED ONLY IF THE FABRIC HEIGHT IS 8 FEET OR GREATER.

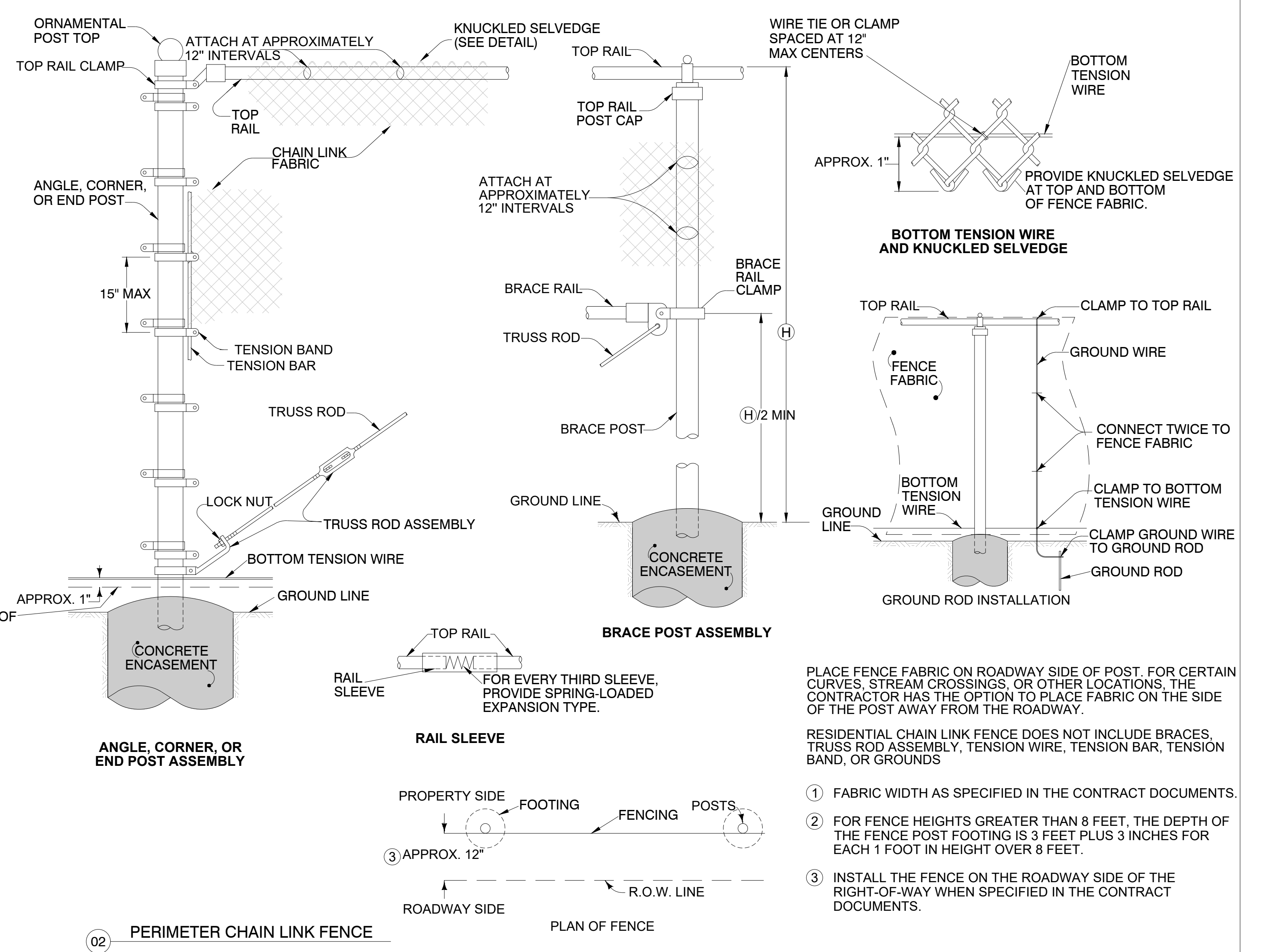
- FENCING NOTES (APPLICABLE FOR ALL FENCING DETAILS):**
- DUE TO SAFETY CONCERNS ALL FENCE ON SITE SHALL BE 8 FEET IN HEIGHT.
  - PERIMETER FENCING AROUND THE DETENTION AREA WILL NOT INCLUDE BARBED WIRE.
  - FENCING AROUND DISTRIBUTION BUILDING WILL MATCH EXISTING FENCING, 8 FEET WITH BARBED WIRE. SEE DETAIL 04 ON SHEET C.503 FOR MORE INFORMATION.



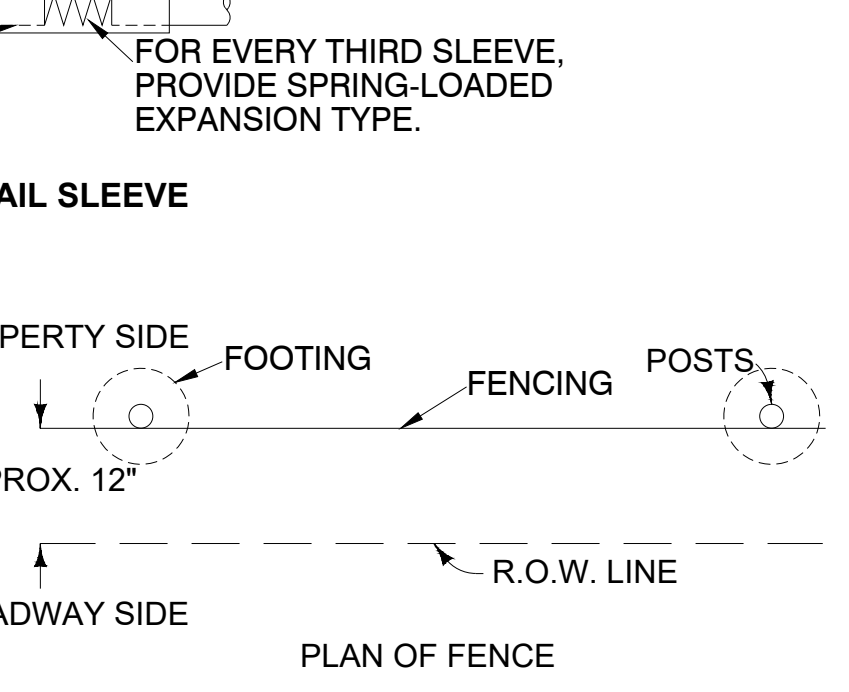
**FENCE POST FOOTING DEPTH AND DIAMETER**

USE IN FENCE	FENCE HEIGHT					
	4'-0" AND LESS		OVER 4' TO 8'-0"		OVER 8'-0"	
	X	Y	X	Y	X	Y
LINE AND BRACE POSTS	0'-8"	3'-0"	0'-10"	3'-0"	1'-0"	(2)
TERMINAL POST*	0'-10"	3'-0"	1'-0"	3'-0"	1'-4"	(2)

\*INCLUDES CORNER, ANGLE, END, AND PULL POSTS.

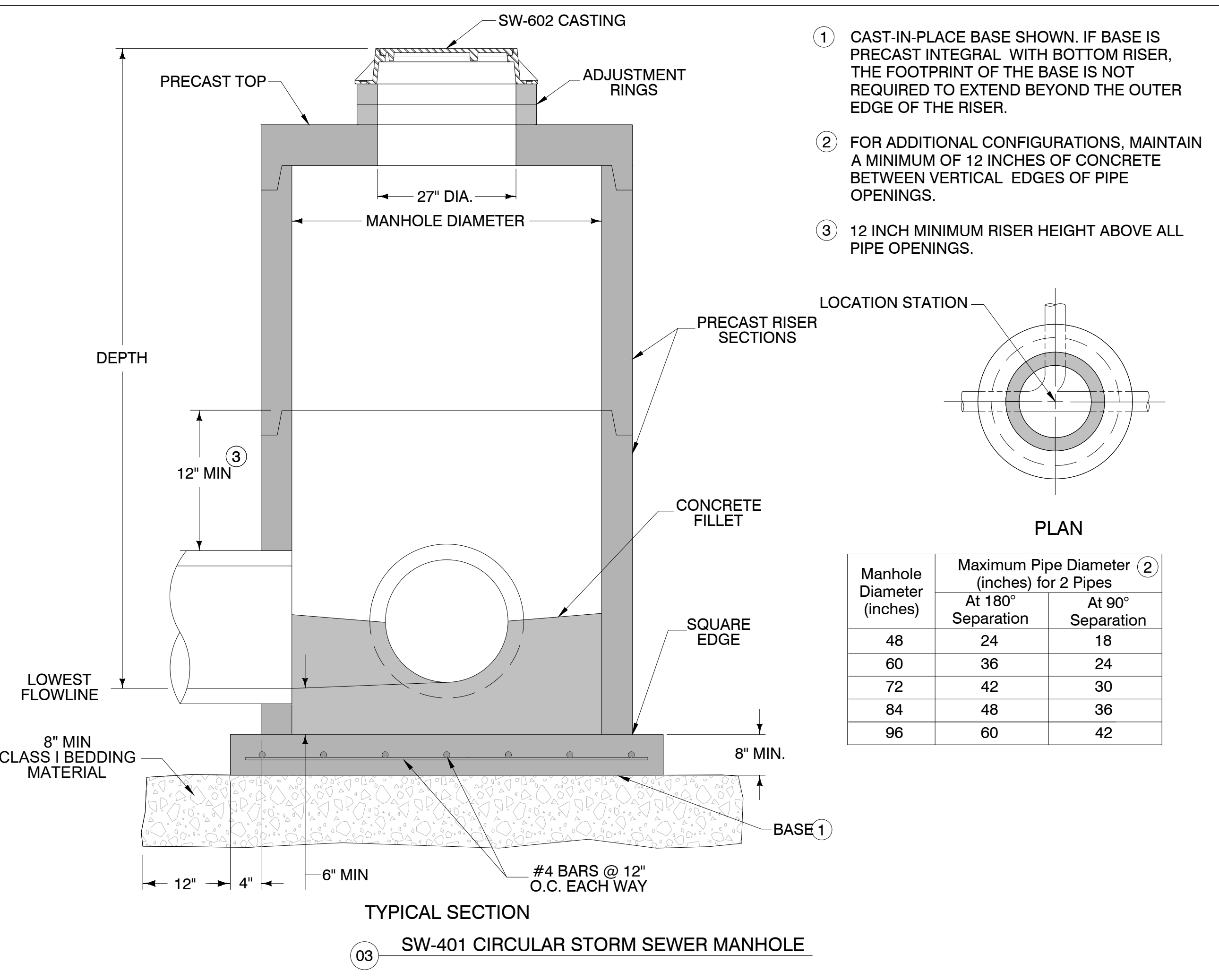


02 PERIMETER CHAIN LINK FENCE



- RESIDENTIAL CHAIN LINK FENCE DOES NOT INCLUDE BRACES, TRUSS ROD ASSEMBLY, TENSION WIRE, TENSION BAR, TENSION BAND, OR GROUNDS
- FABRIC WIDTH AS SPECIFIED IN THE CONTRACT DOCUMENTS.
  - FOR FENCE HEIGHTS GREATER THAN 8 FEET, THE DEPTH OF THE FENCE POST FOOTING IS 3 FEET PLUS 3 INCHES FOR EACH 1 FOOT IN HEIGHT OVER 8 FEET.
  - INSTALL THE FENCE ON THE ROADWAY SIDE OF THE RIGHT-OF-WAY WHEN SPECIFIED IN THE CONTRACT DOCUMENTS.

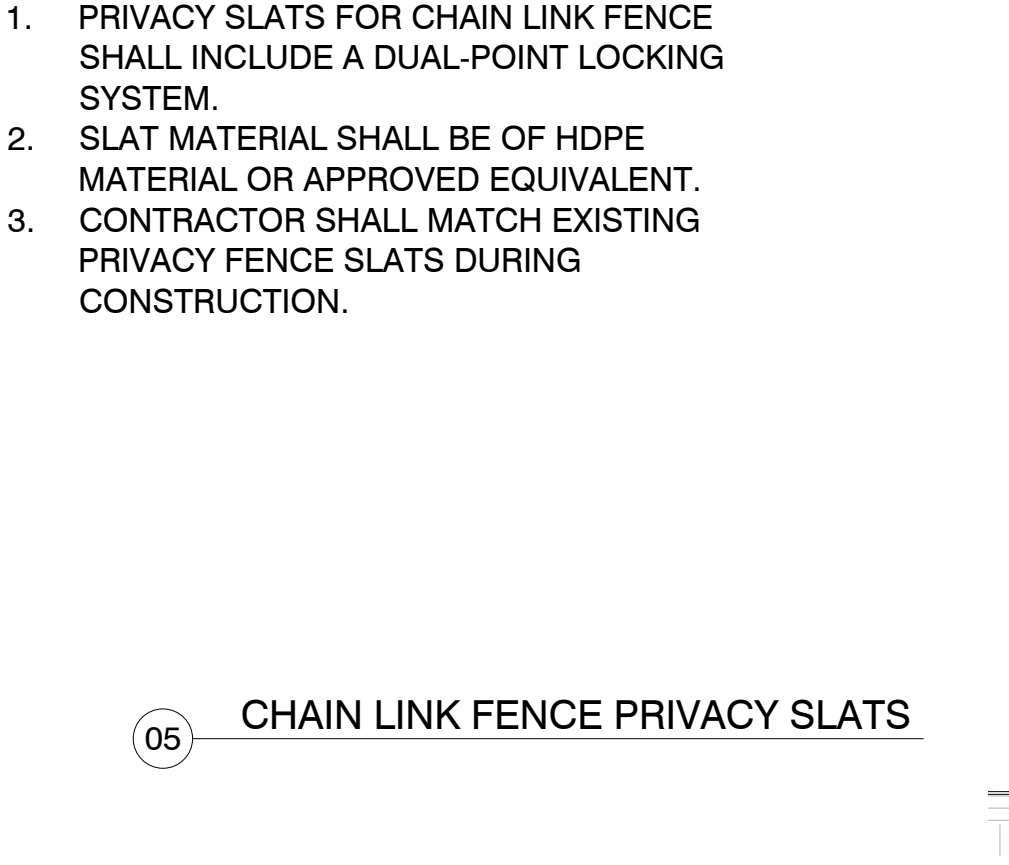
01 CHAIN LINK FENCE GATE



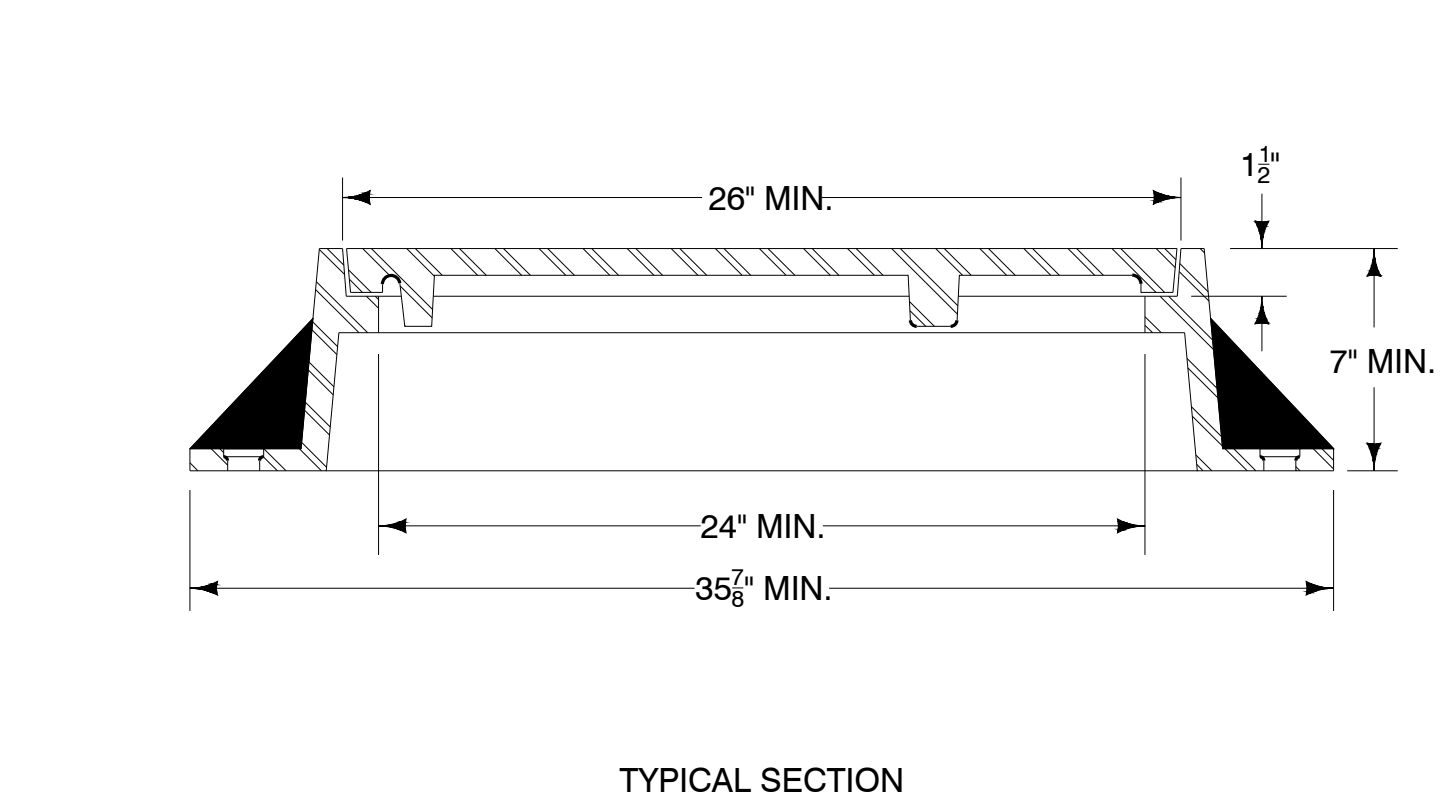
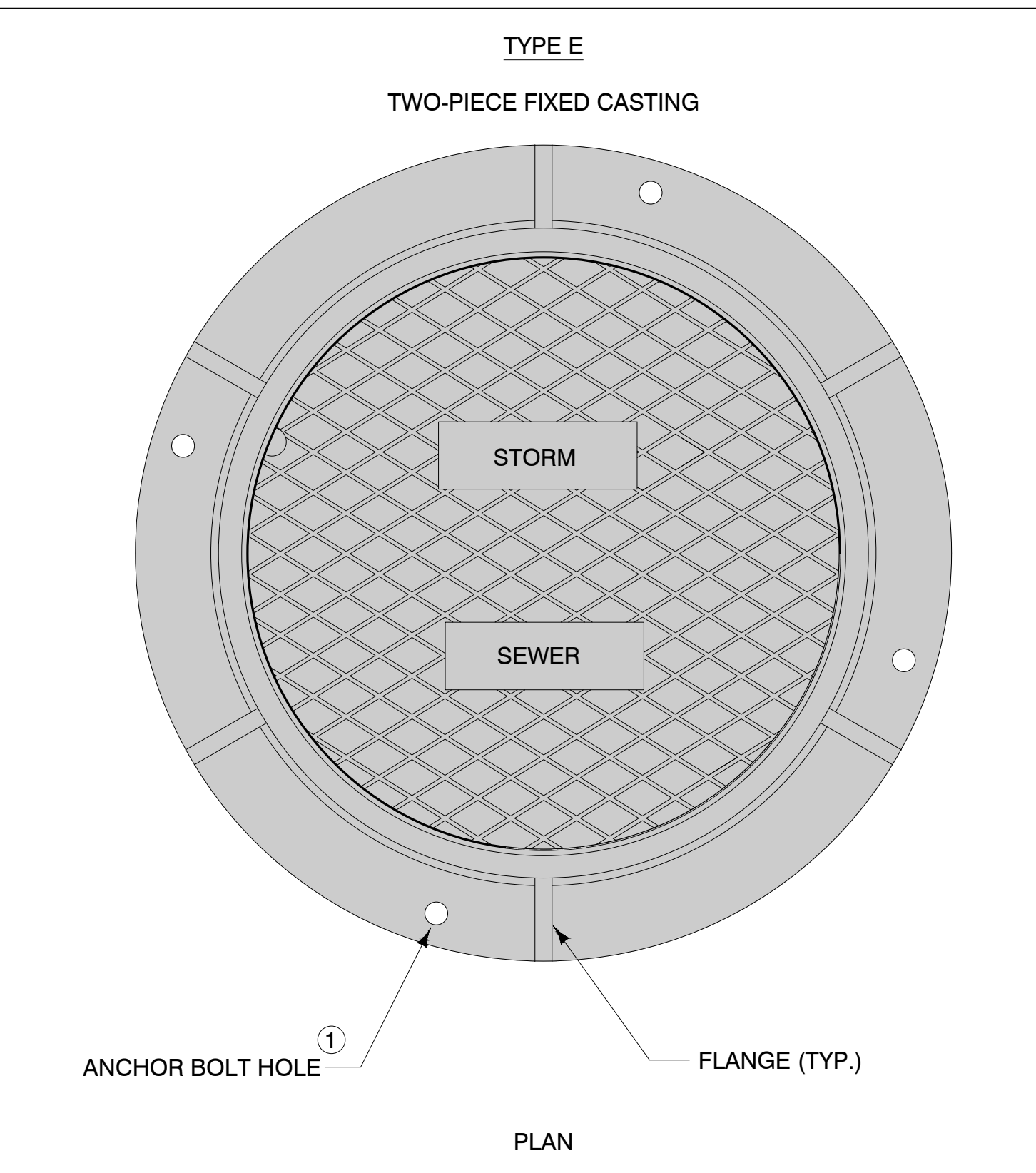
**Manhole Diameter (inches) vs. Maximum Pipe Diameter (inches) for 2 Pipes**

Manhole Diameter (inches)	Maximum Pipe Diameter (inches) for 2 Pipes	
	At 180° Separation	At 90° Separation
48	24	18
60	36	24
72	42	30
84	48	36
96	60	42

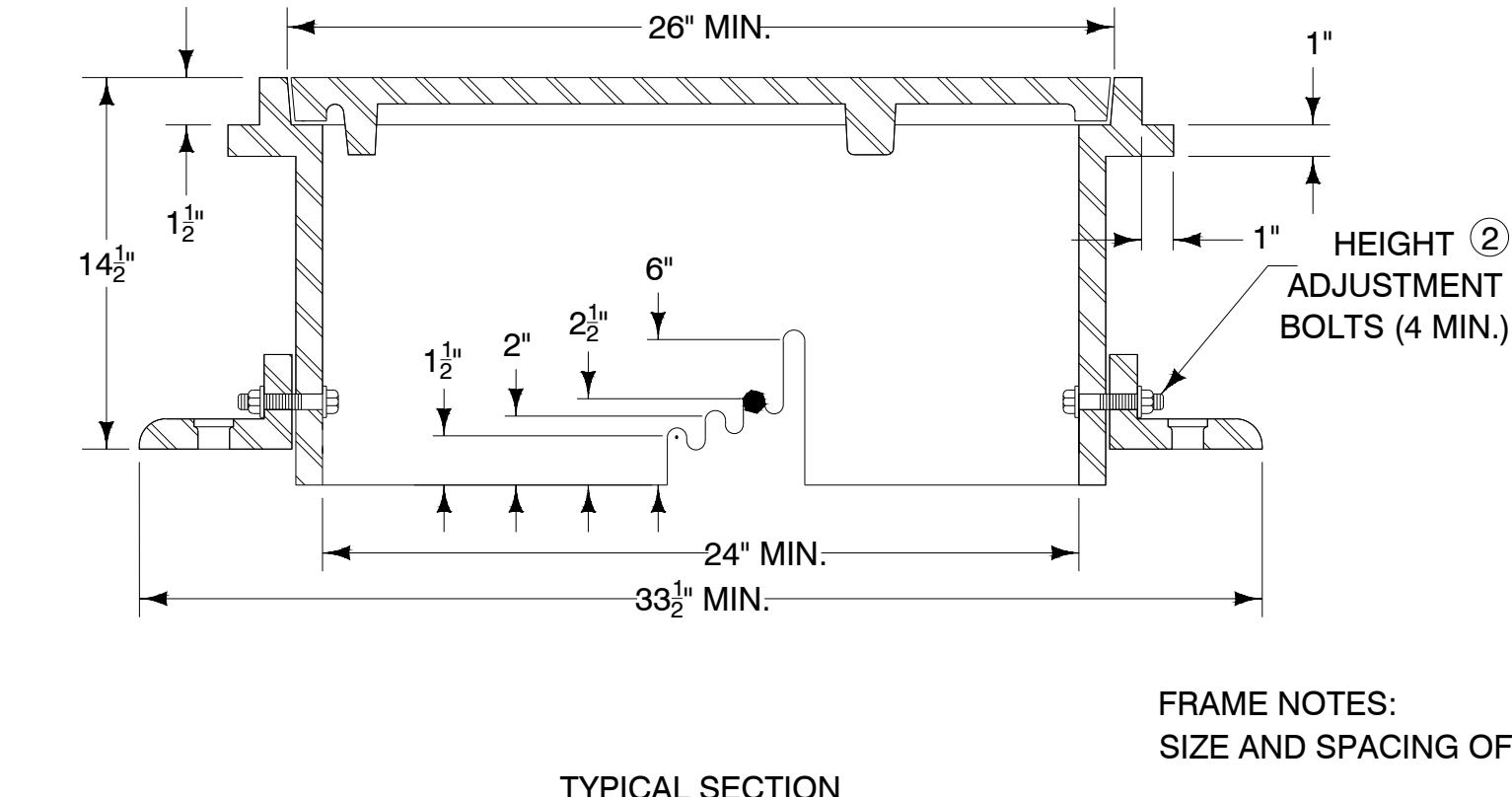
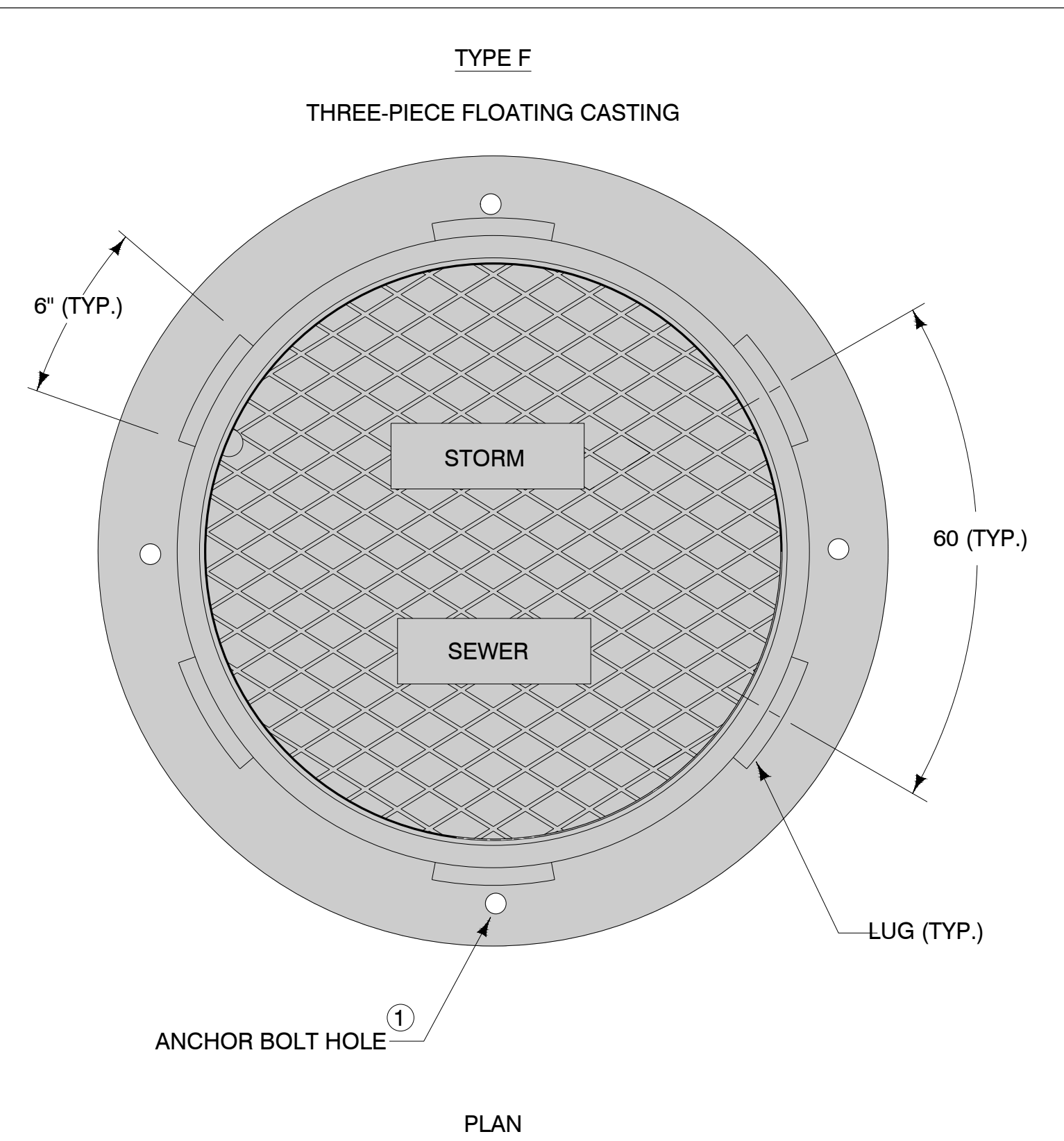
03 SW-401 CIRCULAR STORM SEWER MANHOLE



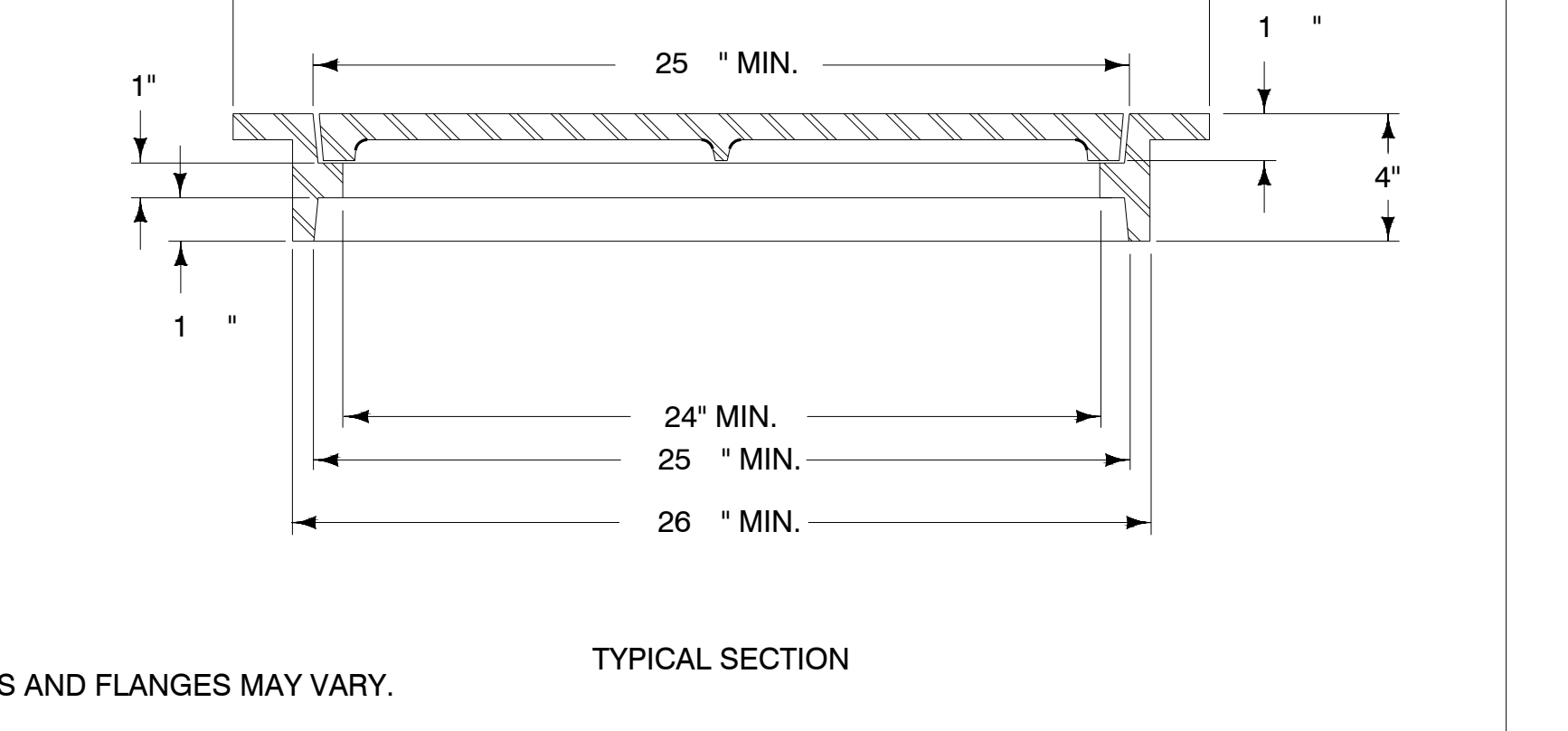
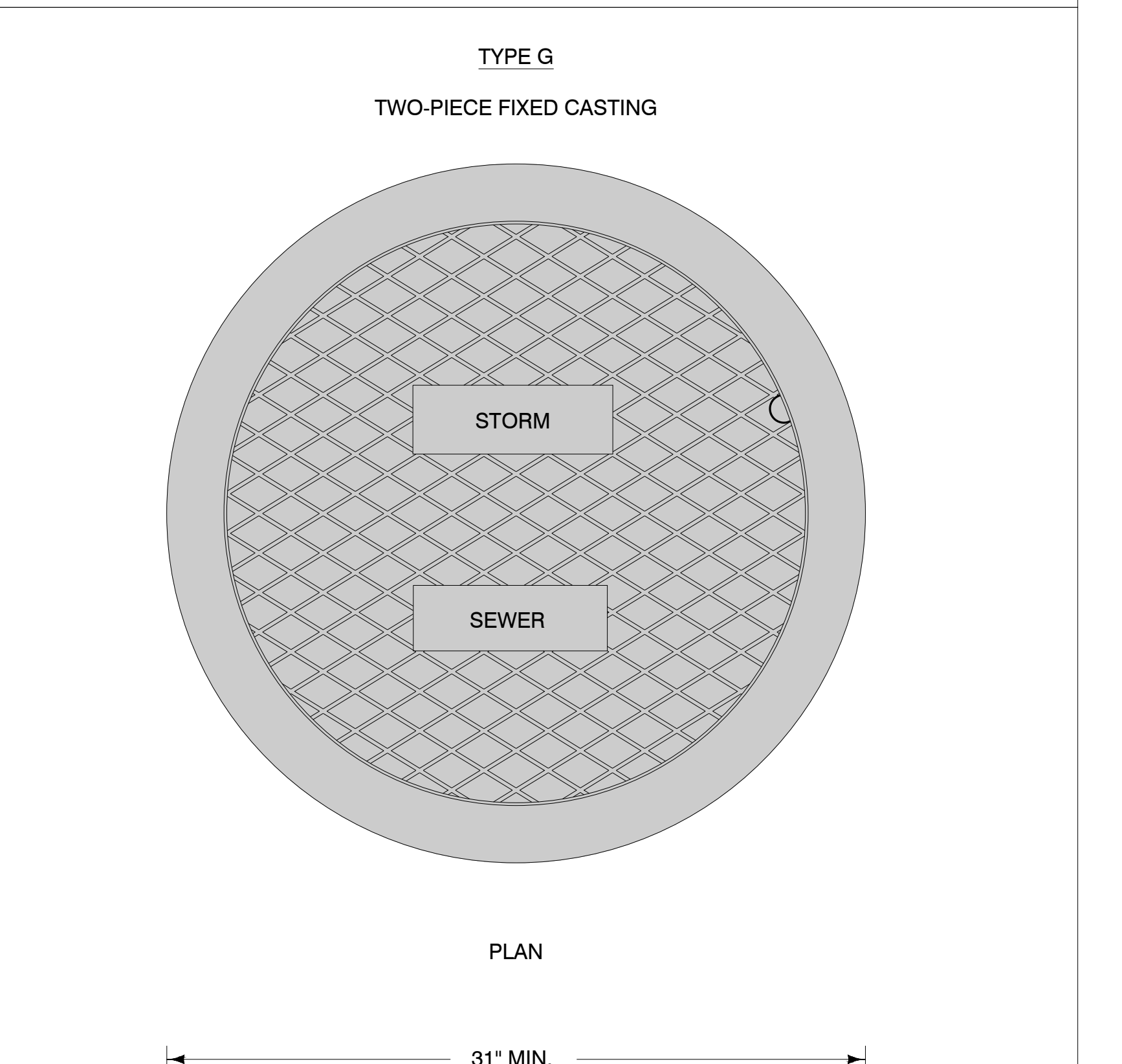
05 CHAIN LINK FENCE PRIVACY SLATS



TYPICAL SECTION



TYPICAL SECTION



TYPICAL SECTION

04 SW-602 CASTINGS FOR STORM SEWER MANHOLES

- FRAME NOTES:**  
SIZE AND SPACING OF LUGS AND FLANGES MAY VARY.
- COVER NOTES:**  
ROUGHNESS PATTERN AND TEXT STYLES MAY VARY.  
MINIMUM ONE CONCEALED PICKHOLE.
- WHEN THE CONTRACT DOCUMENTS REQUIRE THE FRAME TO BE ATTACHED TO THE STRUCTURE, DRILL FOUR 1/2" DIAMETER HOLES OR SLOTS, EQUALLY SPACED AROUND FRAME.
  - SET CASTING AT PROPER GRADE USING ONE OF THE ADJUSTMENT SLOTS.  
REMOVE BOLTS UPON COMPLETION OF PAVING.

J:\25-DS-0026\wg3\S\_Sheets\25-DS-0026\_Typ\_Details.dwg - C:501 TYPICAL DETAILS - 05/09/25 - 10:58am - KM332

DESIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_ DATE: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_ DATE: \_\_\_\_\_  
 APPROVED: \_\_\_\_\_ DATE: \_\_\_\_\_

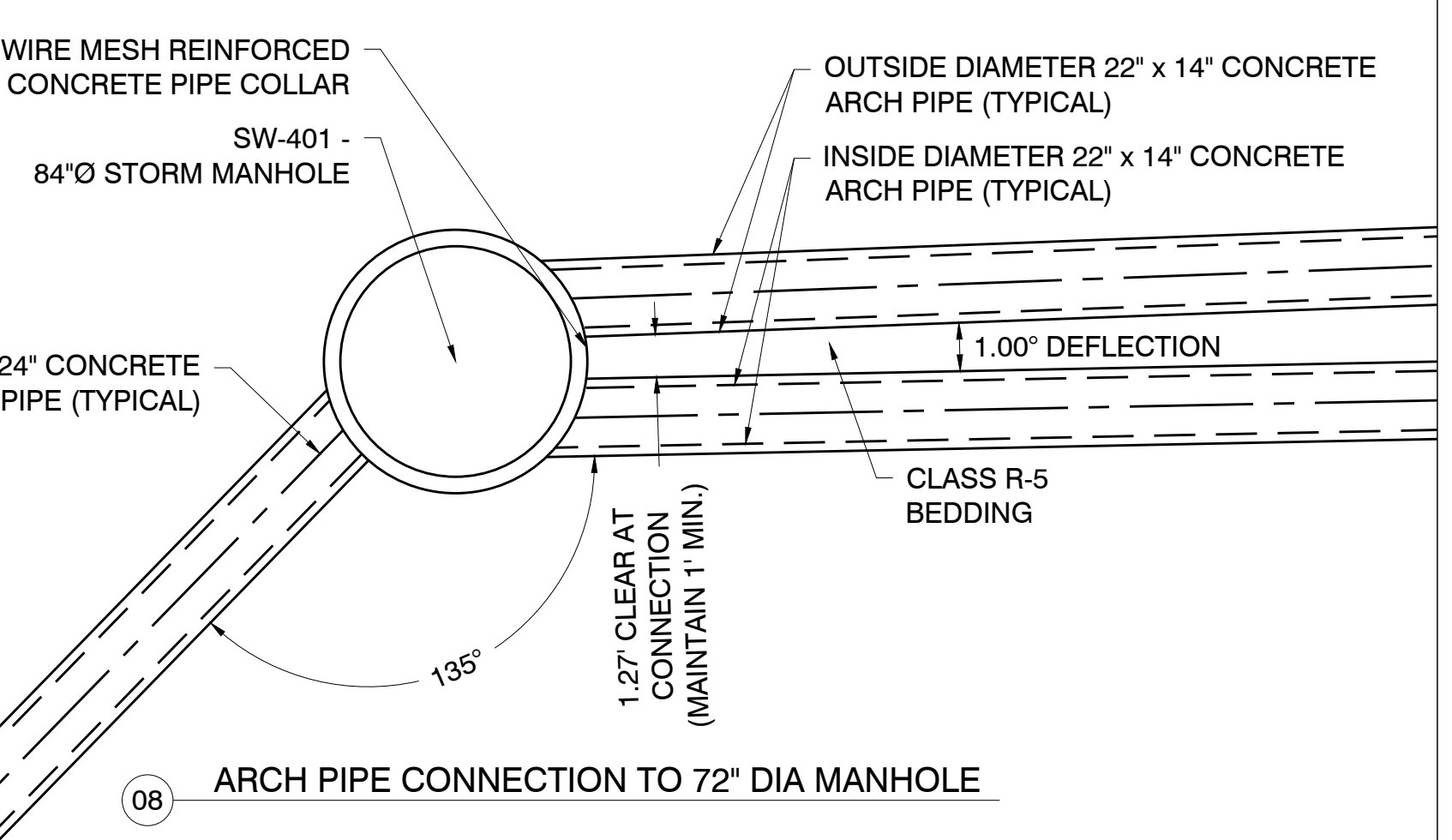
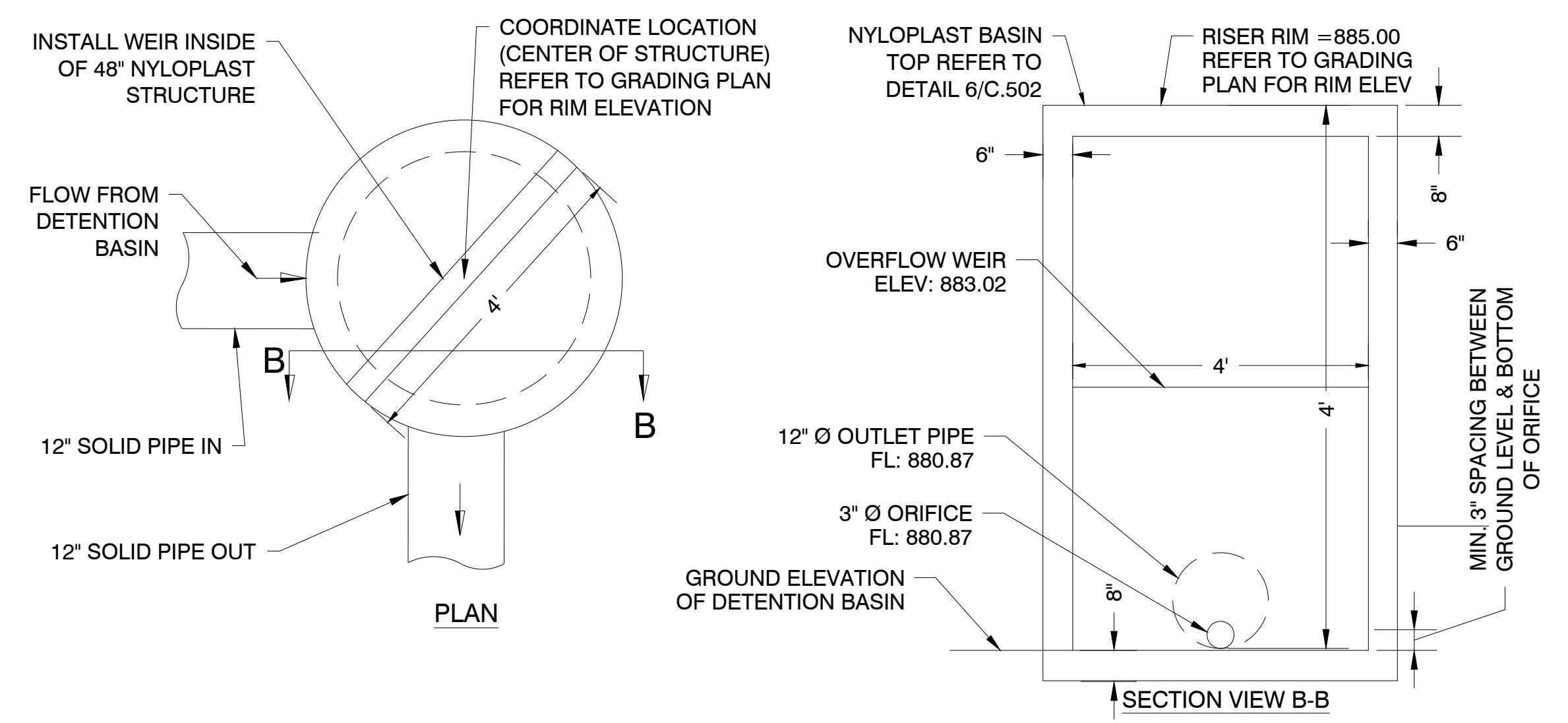
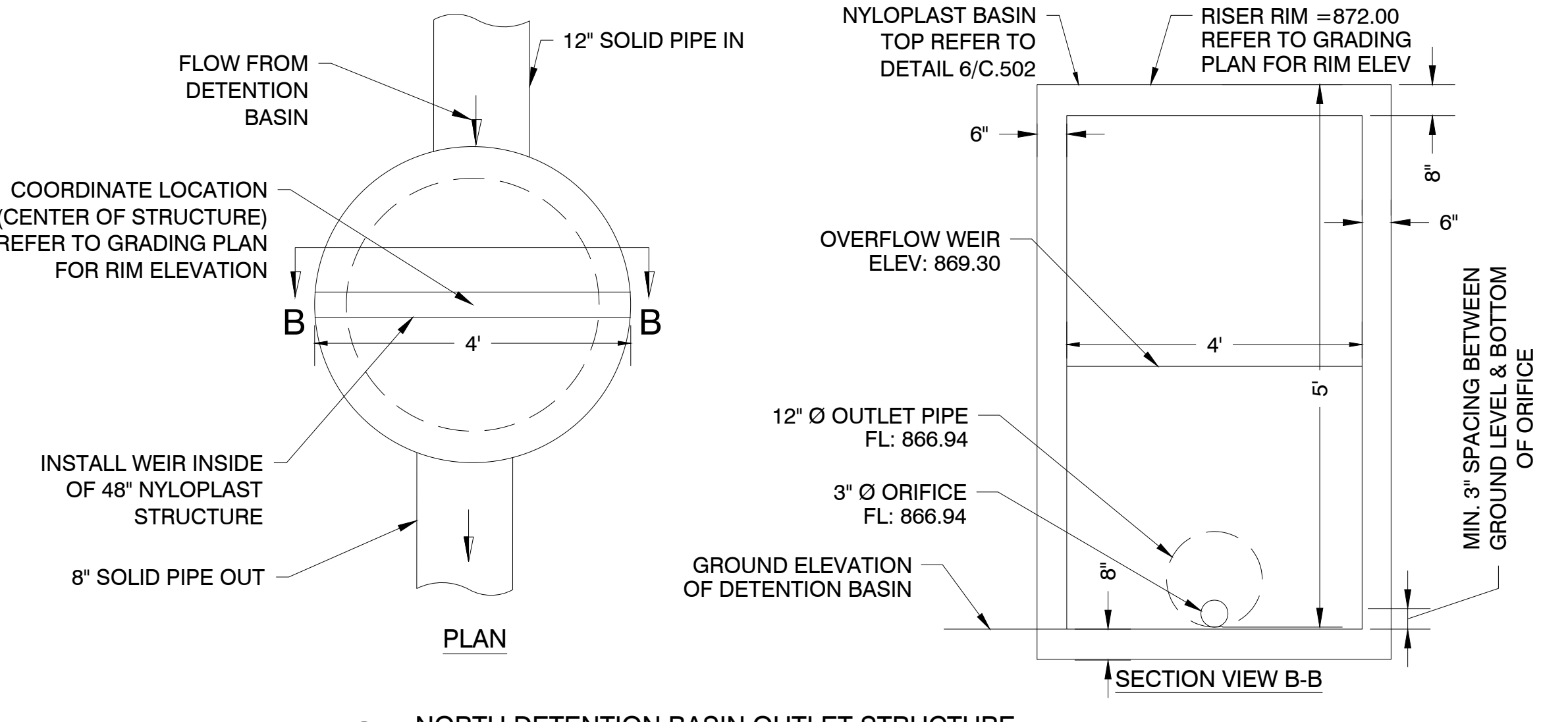
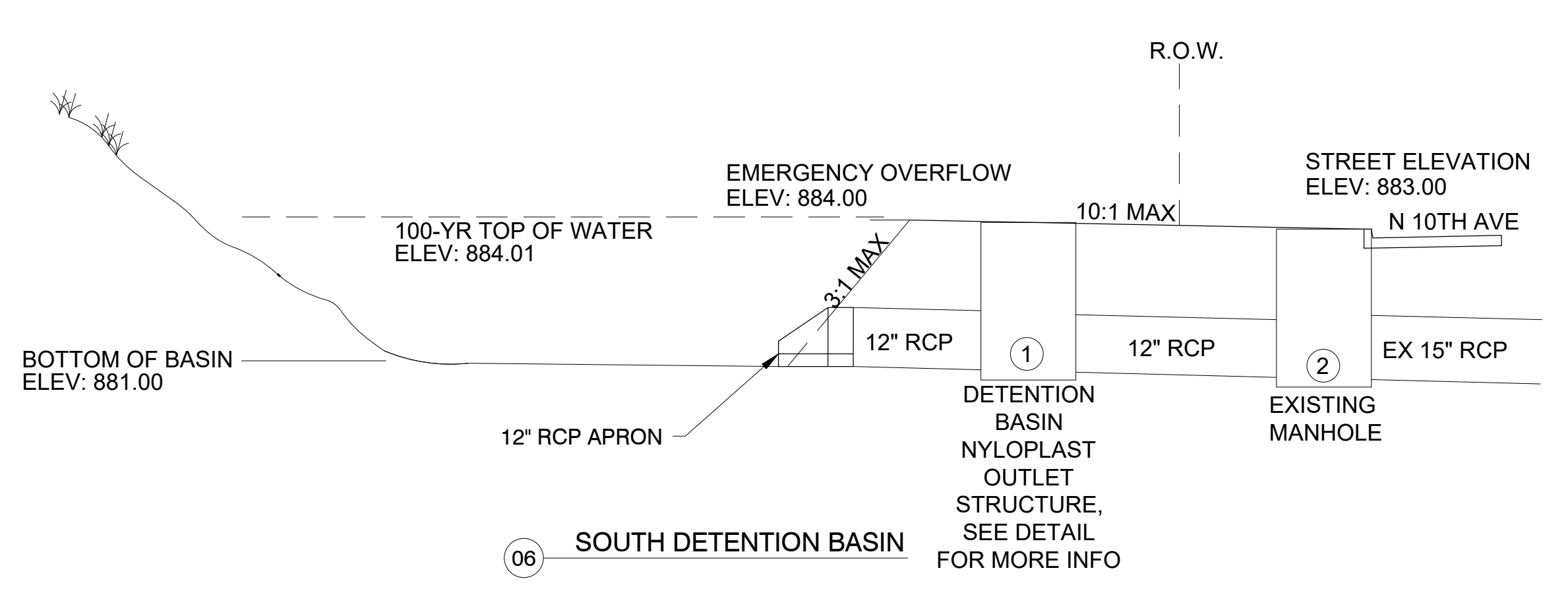
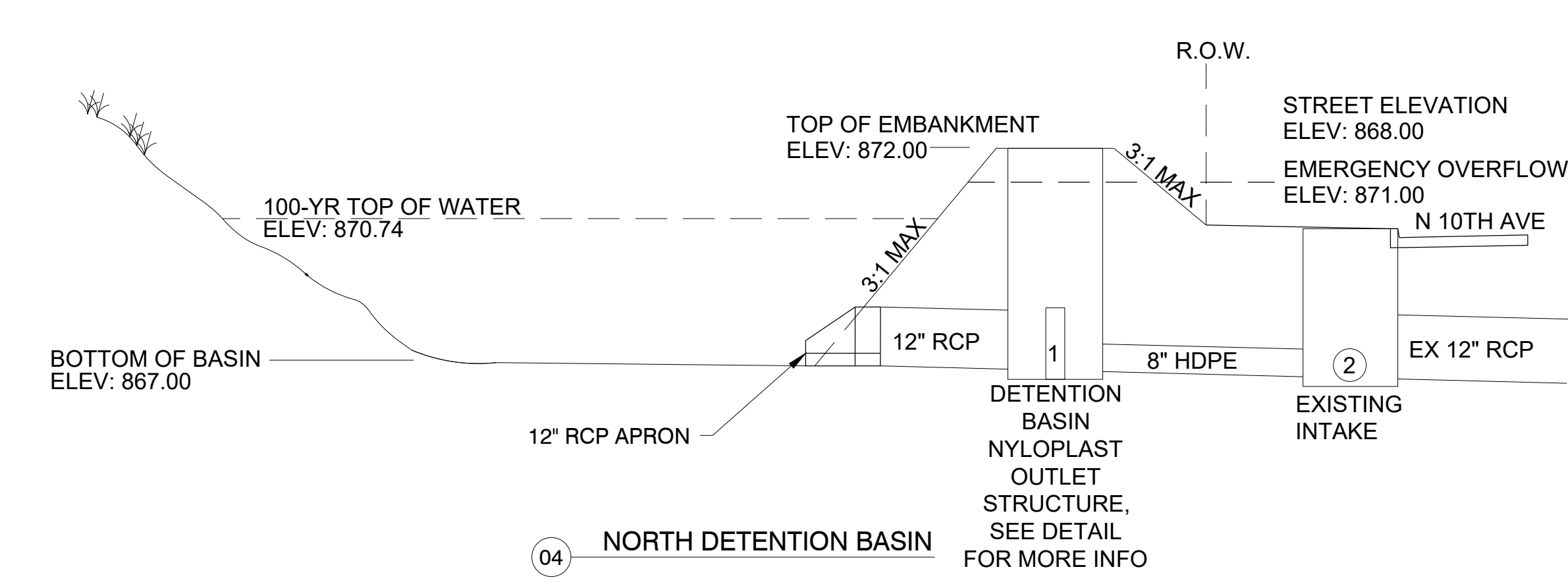
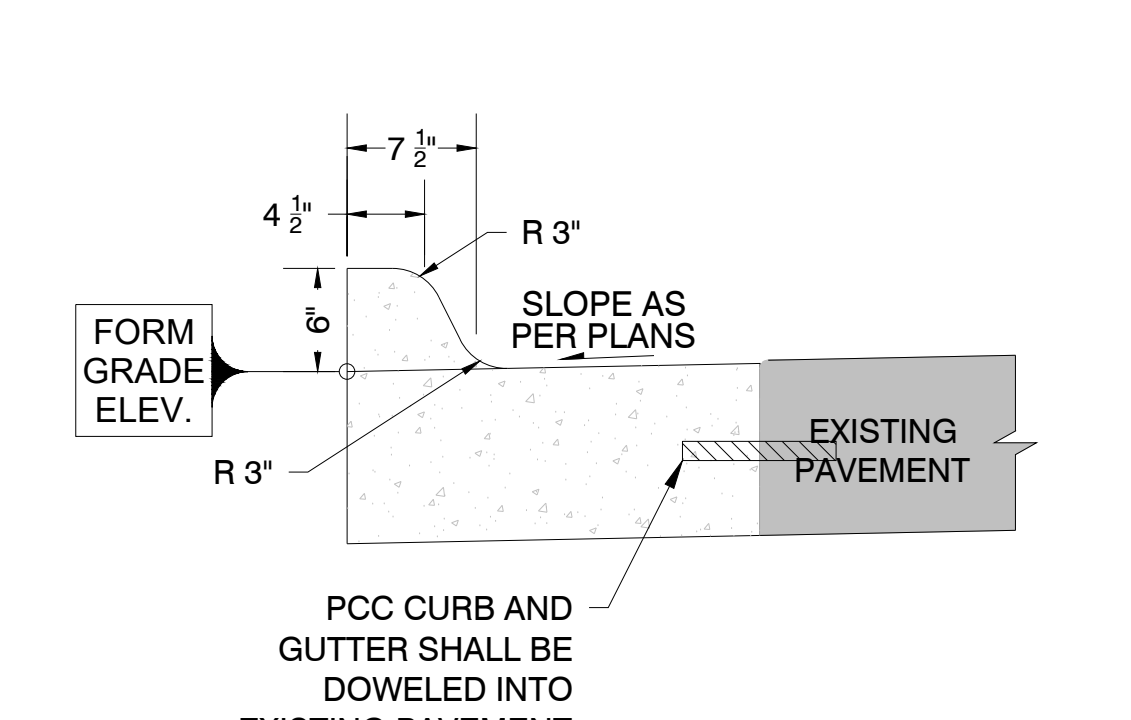
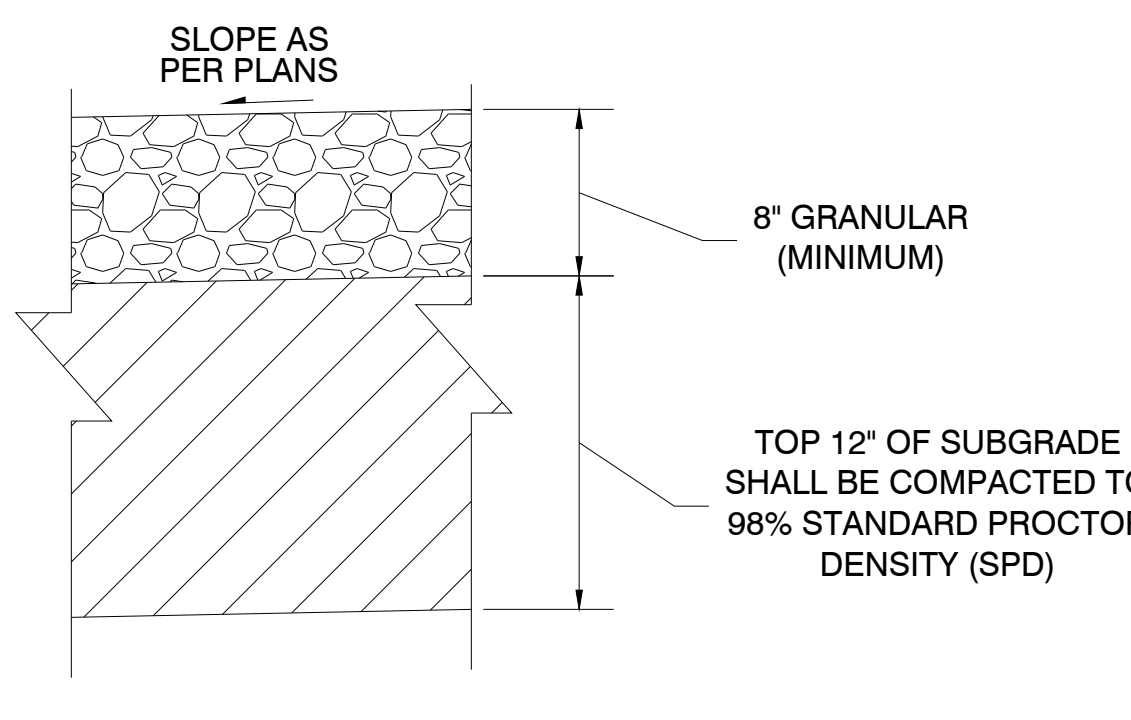
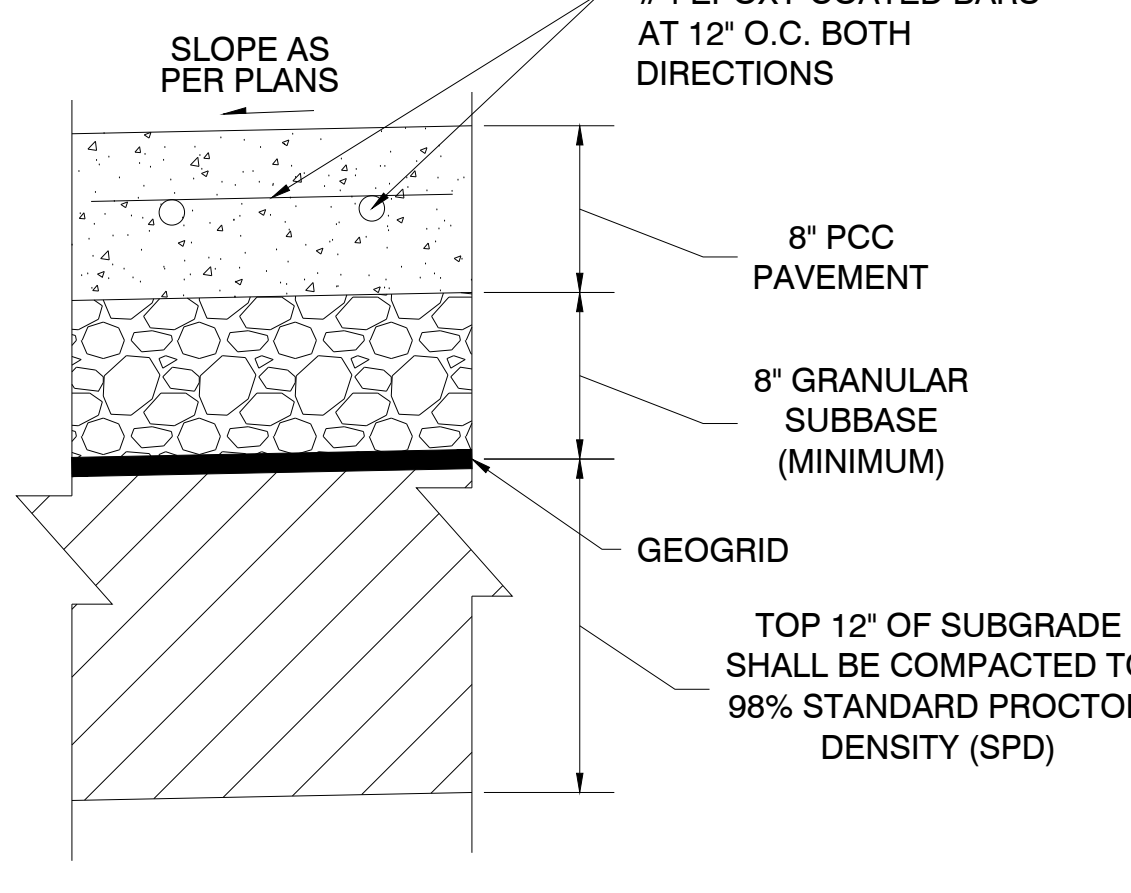
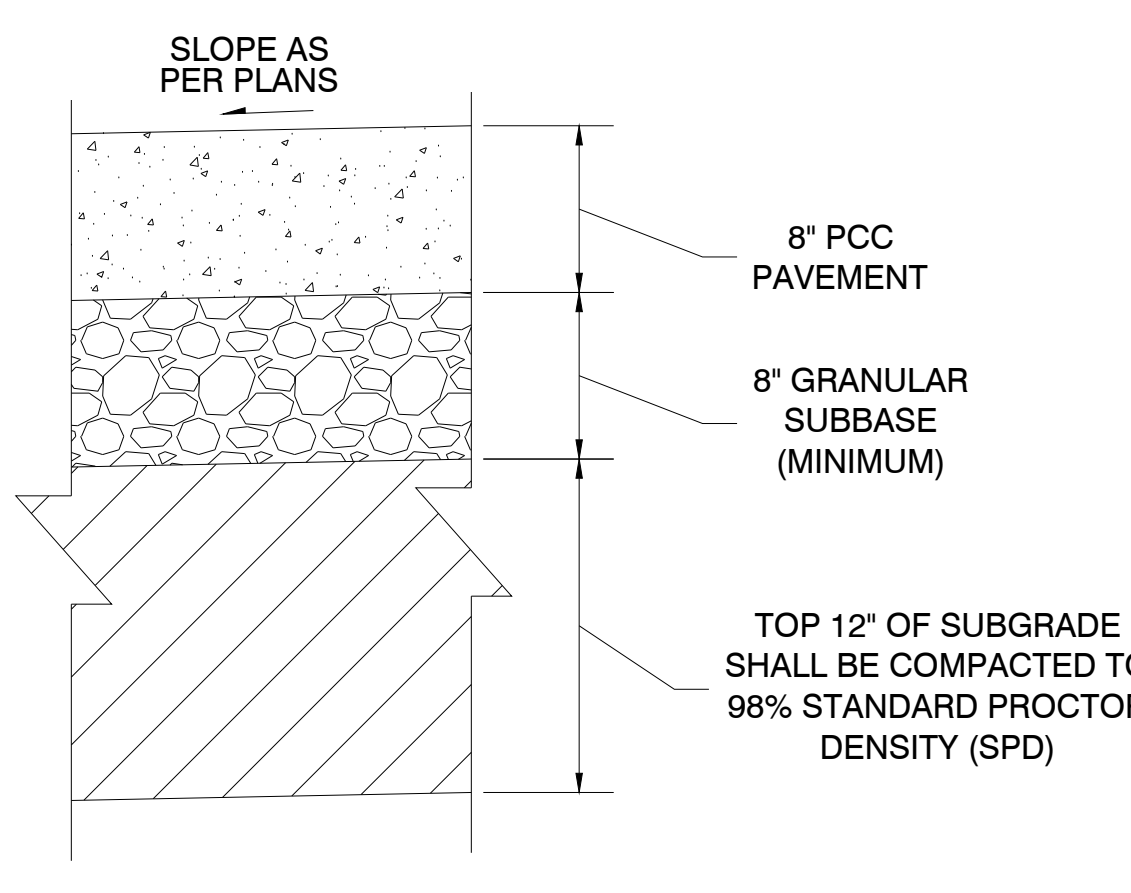
NO.	REVISION	BY	DATE
1	REVISION 1	SJC	05/09/25

PROJECT NO: 25-DS-0026  
 SHEET NO: C.501

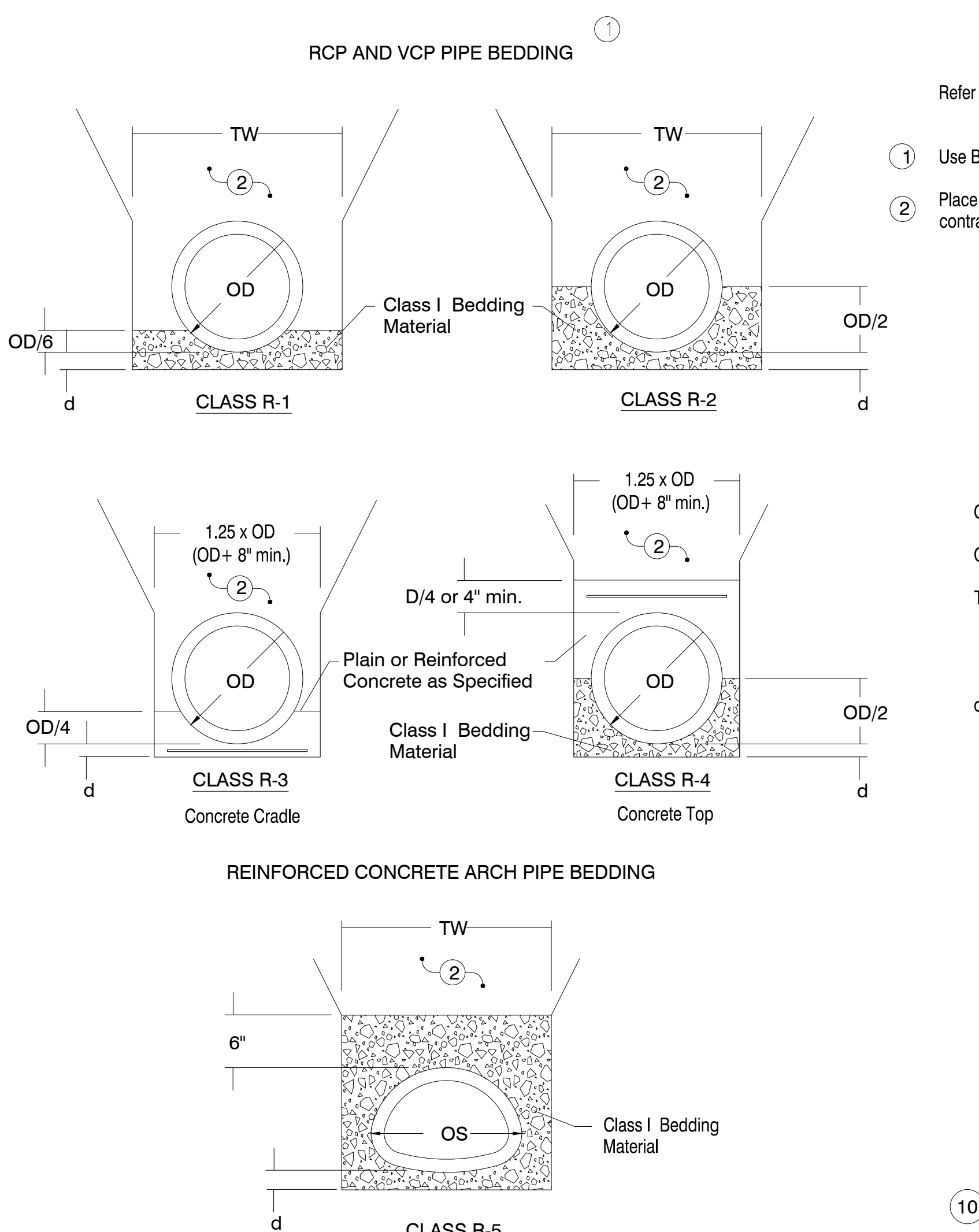
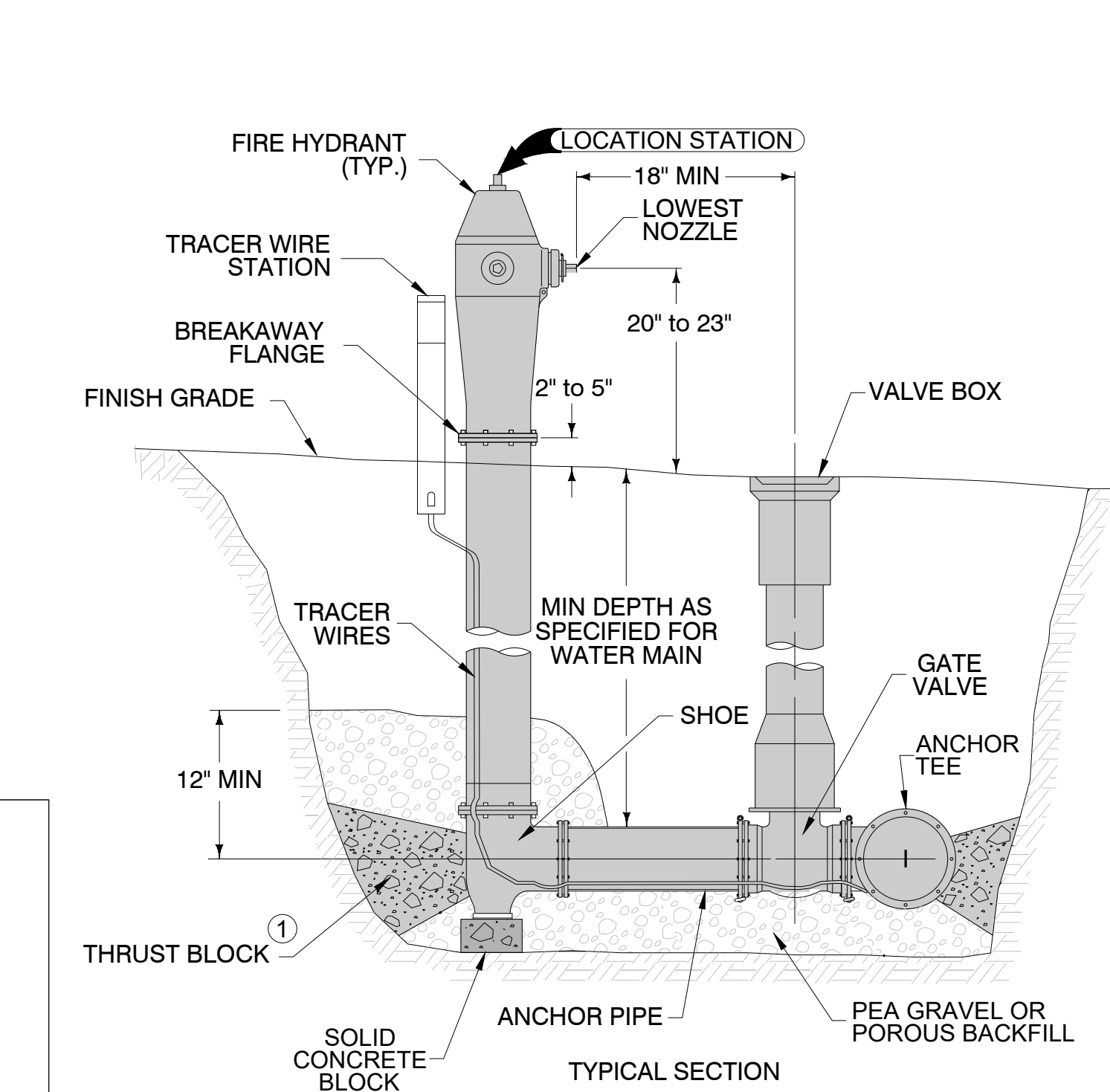
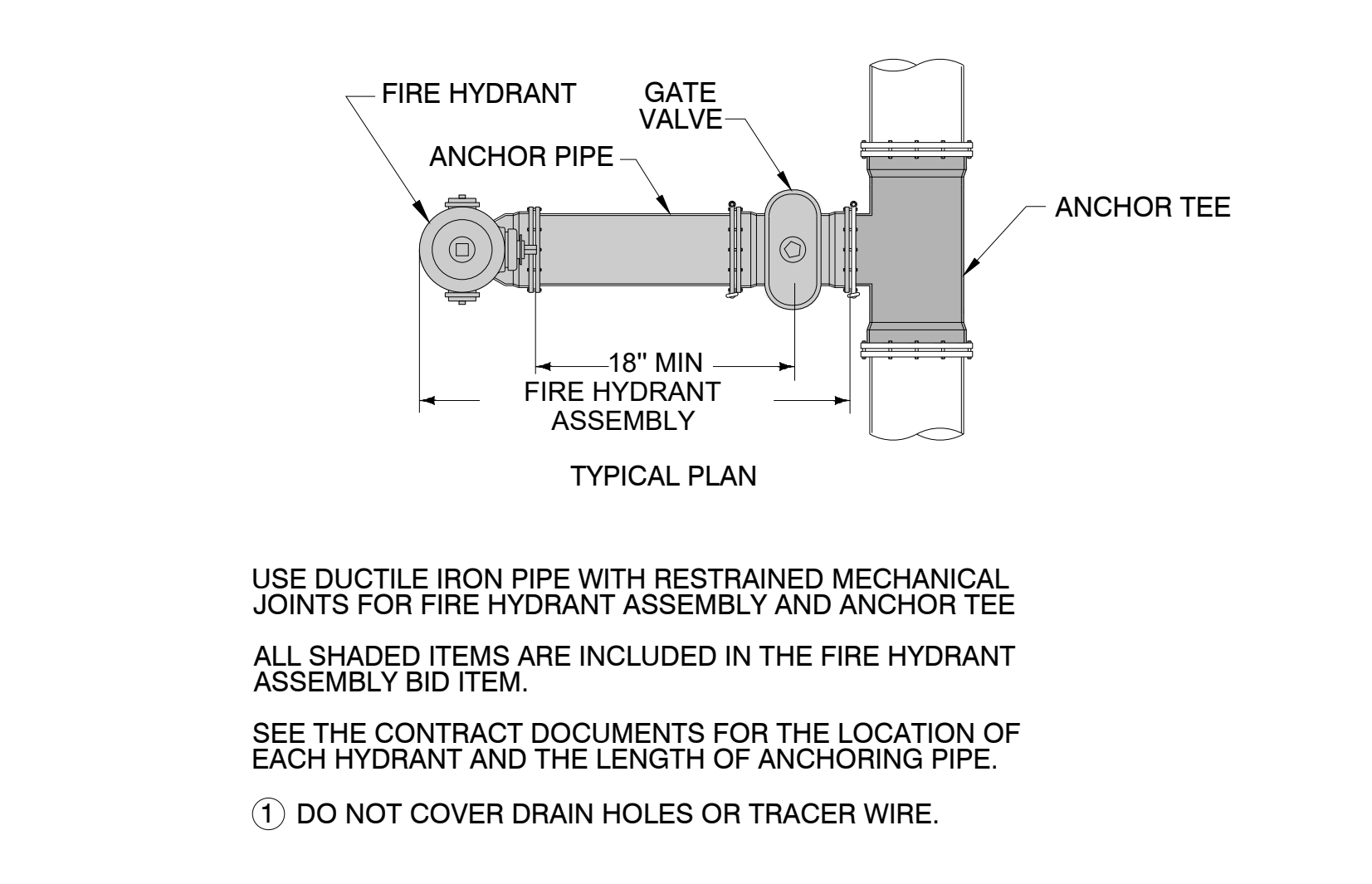
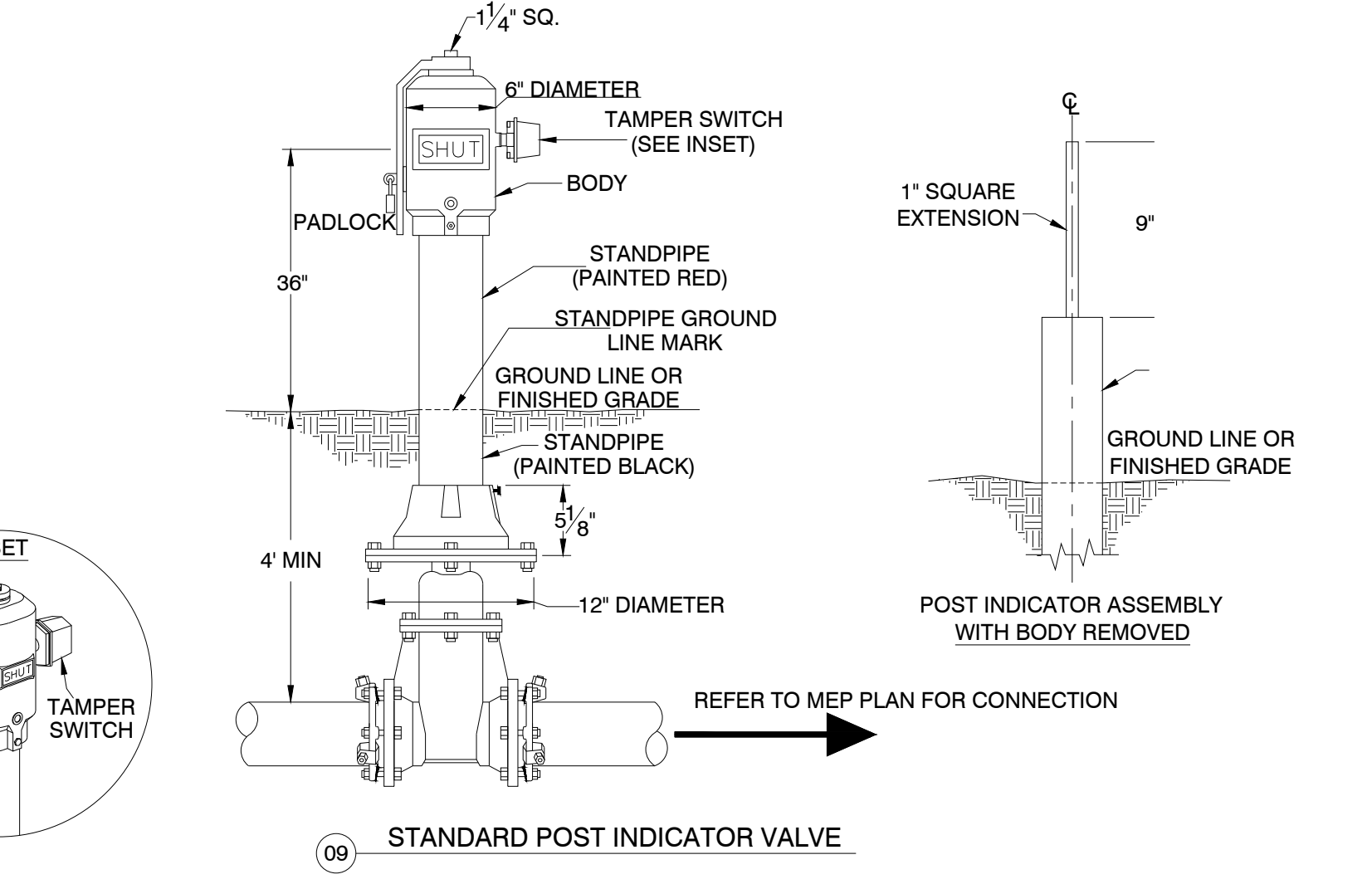
Clansville Garber Associates, Inc.  
 116 East Main Street  
 Marshalltown, Iowa 50158  
 Ph: 641-752-6701  
 www.cgaconsultants.com

**TYPICAL DETAILS**  
**JBS DISTRIBUTION EXPANSION**  
**MARSHALLTOWN, IOWA**

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- FIELD ADJUSTMENT INSTRUCTIONS**
- REMOVE THE BODY FROM THE TOP OF THE INDICATOR POST ASSEMBLY.
  - CUT THE REQUIRED LENGTH OFF THE BOTTOM OF THE STANDPIPE FOR THE GROUND LINE TO MATCH UP WITH STANDPIPE GROUND LINE MARK.
  - CUT THE 1" SQ. EXTENSION AT A DISTANCE OF 9" ABOVE THE TOP OF THE STANDPIPE.
  - SET THE "OPEN" AND "SHUT" TARGETS FOR THE APPROPRIATE VALVE SIZE.
  - REATTACH THE BODY TO THE TOP OF THE INDICATOR POST ASSEMBLY.
  - ALL POST INDICATOR VALVES SHALL BE INSTALLED WITH AN ELECTRONIC UL LISTED TAMPER SWITCH.
  - THERE SHALL BE 3" OF UNOBSTRUCTED CLEARANCE AROUND THE PERIMETER OF ALL POST INDICATOR VALVES.
  - POST INDICATOR VALVE SHALL BE LOCATED AT A MINIMUM 5'-8" FROM BUILDING.
  - SHALL BE LOCATED NOT LESS THAN 40' FROM BUILDINGS UNLESS PERMITTED BY AUTHORITY HAVING JURISDICTION.



- Refer to sheet 2 for bury depth restrictions.
- Use Bedding Class R-1 or R-2 unless specified otherwise.
  - Place remainder of bedding and backfill materials as specified in the contract documents.
- Key**
- OD = Outside diameter of pipe
  - OS = Outside span of pipe
  - TW = Trench width at top of pipe: Min. = OD + 18 inches OR Max. = 1.25xOD + 12 inches OR 54 inches (whichever is greater)
  - d = Depth of bedding material below pipe: OD/8 or OS/8, OR 4 inches (whichever is greater)

**CLASS III RCP**

Pipe Diameter (inches)	Class R-1 Bedding	Class R-2 Bedding	Class R-3 & R-4 Bedding		
			No Steel	As=0.4%	As=1.0%
12	7"	10"	15"	19"	27"
15	8"	10"	16"	19"	27"
18	8"	1 1"	16"	20"	40"
21	8"	1 1"	18"	26"	40"
24	8"	1 1"	23"	36"	40"
27	10"	1 1"	30"	40"	40"
30	1 1"	1 1"	29"	40"	40"
33	1 1"	1 1"	28"	40"	40"
36	1 1"	1 1"	27"	40"	40"
42	1 1"	1 1"	26"	38"	40"
48	1 1"	1 1"	26"	36"	40"
54	1 1"	1 1"	25"	34"	40"
60	1 1"	1 1"	25"	33"	40"
66	1 1"	1 1"	24"	32"	40"
72	1 1"	1 1"	24"	32"	40"

As = Area of Steel Reinforcing

**CLASS IV RCP**

Pipe Diameter (inches)	Class R-1 Bedding	Class R-2 Bedding	Class R-3 & R-4 Bedding		
			No Steel	As=0.4%	As=1.0%
12	12"	15"	23"	28"	40"
15	12"	16"	23"	30"	40"
18	13"	16"	29"	40"	40"
21	13"	18"	40"	40"	40"
24	16"	23"	40"	40"	40"
27	19"	30"	40"	40"	40"
30	19"	29"	40"	40"	40"
33	19"	28"	40"	40"	40"
36	19"	28"	40"	40"	40"
42	18"	27"	40"	40"	40"
48	18"	26"	40"	40"	40"
54	18"	25"	40"	40"	40"
60	18"	25"	40"	40"	40"
66	18"	25"	40"	40"	40"
72	18"	24"	40"	40"	40"

As = Area of Steel Reinforcing

**CLASS V RCP**

Pipe Diameter (inches)	Class R-1 Bedding	Class R-2 Bedding	Class R-3 & R-4 Bedding		
			No Steel	As=0.4%	As=1.0%
12	18"	23"	35"	40"	40"
15	19"	24"	40"	40"	40"
18	19"	30"	40"	40"	40"
21	25"	40"	40"	40"	40"
24	34"	40"	40"	40"	40"
27	40"	40"	40"	40"	40"
30	40"	40"	40"	40"	40"
33	40"	40"	40"	40"	40"
36	40"	40"	40"	40"	40"
42	37"	40"	40"	40"	40"
48	35"	40"	40"	40"	40"
54	33"	40"	40"	40"	40"
60	32"	40"	40"	40"	40"
66	31"	40"	40"	40"	40"
72	31"	40"	40"	40"	40"

As = Area of Steel Reinforcing

**EXTRA STRENGTH VCP**

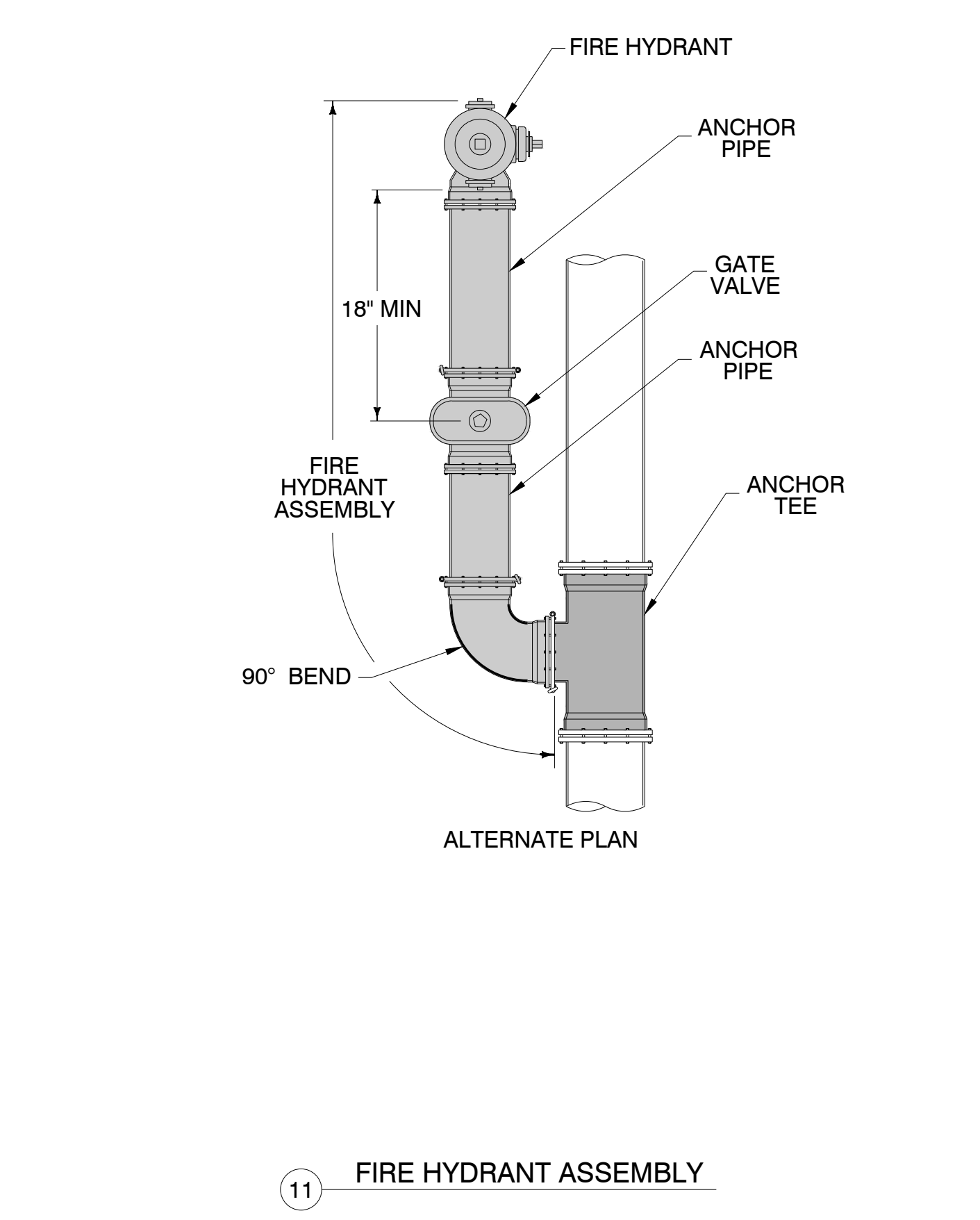
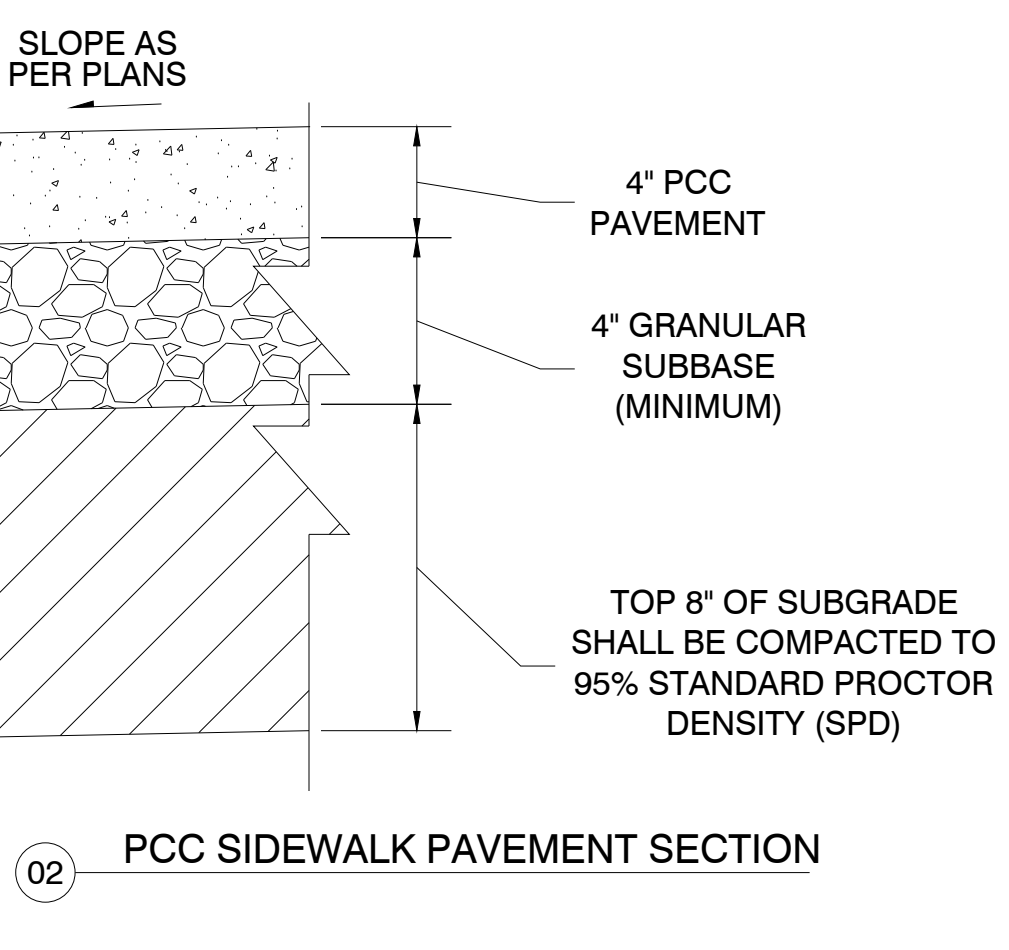
Pipe Diameter (inches)	Class R-1 Bedding	Class R-2 Bedding	Class R-3 & R-4 Bedding		
			No Steel	As=0.4%	As=1.0%
6	25"	30"	30"	30"	30"
8	20"	26"	30"	30"	30"
10	18"	23"	30"	30"	30"
12	16"	20"	30"	30"	30"
15	15"	19"	28"	30"	30"
18	14"	18"	30"	30"	30"
21	15"	22"	30"	30"	30"
24	18"	28"	30"	30"	30"
27	20"	30"	30"	30"	30"
30	19"	29"	30"	30"	30"
33	20"	30"	30"	30"	30"
36	20"	30"	30"	30"	30"
39	19"	29"	30"	30"	30"
42	18"	26"	30"	30"	30"

As = Area of Steel Reinforcing

**REINFORCED CONCRETE ARCH PIPE**

Pipe Size (inch by inch)	Eqiv. Diameter (inches)	Class A-III	Class A-IV
18 by 11	15	6"	1 1"
22 by 13	18	6"	1 1"
26 by 15	21	6"	1 1"
29 by 18	24	7"	1 1"
36 by 22	30	8"	1 1"
44 by 27	36	8"	1 1"
51 by 31	42	8"	1 1"
58 by 36	48	8"	1 1"
65 by 40	54	8"	1 1"
73 by 45	60	8"	1 1"
88 by 54	72	9"	1 1"

Based on Class R-5 bedding.



DESIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_ DATE: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_ DATE: \_\_\_\_\_  
 APPROVED: \_\_\_\_\_ DATE: \_\_\_\_\_

REVISION: \_\_\_\_\_ NO. \_\_\_\_\_ DATE: \_\_\_\_\_

PROJECT NO: 25-DS-0026  
 SHEET NO: C.500

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 16 East Main Street  
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# MARSHALLTOWN

I O W A

HOUSING & COMMUNITY DEVELOPMENT

Deb Millizer, Director  
Clayton Ender, Assistant Director  
24 North Center Street  
Marshalltown, IA 50158-4911  
Tel - (641) 754-5756  
Fax - (641) 754-5717

**TO:** Planning and Zoning Commission  
**FROM:** Clayton Ender, Assistant Housing & Community Development Director  
**DATE:** June 26<sup>th</sup>, 2025  
**RE:** Consider Approval of a Special Use Permit Application for 2500, 2502, and 2504 S Center Street

<b>City Staff Contact:</b>	Clayton Ender, AICP Assistant Director of Housing and Community Development Phone: 641-754-5756 Email: cender@marshalltown-ia.gov
<b>Applicant &amp; Property Owner:</b>	Shops at Marshalltown LLC C/O Reserve Development 4300 Sigma Rd STE 100 Dallas TX 75244
<b>Recommendation:</b>	<p><b>The Planning and Zoning Commission recommends approval of the special use permit application for 2500, 2502, and 2504 S Center Street subject to the following conditions:</b></p> <ol style="list-style-type: none"><li>1. Prior to Board of Adjustment approval of the special use permit the City Council shall have first completed approval of a zoning text amendment related to allowance of self-service storage, mini-warehouse within the GC, General Commercial Zoning District by special use permit.</li></ol> <p><b>STAFF COMMENTARY REGARDING CONDITION #1:</b> The agenda for the Board of Adjustment meeting is being published prior to final city council approval of Ordinance 15103. However, this ordinance has passed first and second readings by city council and is scheduled for third and final reading on June 23<sup>rd</sup>, 2025 which predates action by Board of Adjustment. Staff will provide a verbal update regarding the status of the zoning text amendment at the Board of Adjustment meeting.</p>

**CITY COUNCIL**

Melisa Fonseca, Barry Kell, Mike Ladehoff,  
Mark Mitchell, Greg Nichols, Jeff Schneider, Gary Thompson



<b>Current Zoning District &amp; Current Usage:</b>	<p>Current Zoning: GC, General Commercial Zoning District</p> <p>Current Usage: Vacant, former shopping center</p>
<b>Proposed Zoning District &amp; Proposed Usage:</b>	<p>Zoning: GC, General Commercial Zoning District</p> <p>Proposed Usage: Self-Service Storage, Mini-Warehouse</p>
<b>Review Criteria:</b>	<p>In determining whether to approve, approve with conditions, or deny a special use permit, the review bodies shall consider the following review criteria:</p> <ol style="list-style-type: none"> <li data-bbox="526 569 1487 678"> <p><b>1. The request complies with the applicable standards of this Zoning Ordinance, the City Code of Ordinances, and any applicable county, state, or federal requirements.</b></p> <p>The proposed site plan is in compliance with applicable zoning regulations provided that prior to Board of Adjustment approval of the special use permit the City Council shall have first completed approval of a zoning text amendment related to allowance of self-service storage, mini-warehouse within the GC, General Commercial Zoning District by special use permit.</p> </li> <li data-bbox="526 999 1487 1108"> <p><b>2. The request substantially conforms to any associated prior approval for the development, including, but not limited to, a special use permit, Master Development Plan, or Site Plan.</b></p> <p>The proposed development does not conflict with any prior approvals.</p> </li> <li data-bbox="526 1226 1487 1377"> <p><b>3. The administrative body has considered the recommendation of staff.</b></p> <p>Staff recommends approval of the special use permit application as outlined in the recommendation section of this staff report.</p> </li> <li data-bbox="526 1423 1487 1730"> <p><b>4. The request is consistent with applicable policies of the Comprehensive Plan and applicable utility plans and capital improvements plans; or, if it addresses a topic that is not contained or not fully developed in the Comprehensive Plan, the request does not impair the implementation of the Comprehensive Plan.</b></p> <p>The comprehensive plan identifies the future land use designation for the development site as commercial.</p> <p>The comprehensive plan does not explicitly list all possible commercial uses within this future land use category. While not a retail based</p> </li> </ol>

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commercial usage the proposed usage does provide general service to people in the form of storage space.

5. **The request promotes the purposes of this Zoning Ordinance as established in § 156.A.002, Purposes, and in other applicable purpose statements in this chapter.**

§ 156.A.002(D)(5) “Protecting property against blight and depreciation by facilitating reinvestment, redevelopment, and infill development.”

6. **Adequate facilities, including public or private utilities, solid waste service, roads, drainage, and other improvements are present or are planned to be provided.**

The subject property has adequate access to existing public streets, water, sanitary sewer, storm sewer and other utilities.

7. **The request demonstrates compatibility with surrounding conforming and permitted land uses and structures and with the general character of the area.**

Land uses to the north, west, and south, include commercial zoning and land uses. Land uses to the east include single-family and multi-family residential.

The proposed use is compatible with all surrounding uses with the inclusion of adequate buffering between residential uses which will be provided.

8. **The special use does not create an unwanted concentration of similar special uses that is likely to discourage permitted uses by making the vicinity less desirable for them.**

In the opinion of staff the proposed development will not discourage permitted uses in the area by making the area less desirable.

9. **There is no practicable alternative location where the use is permitted by right within the general vicinity of the parcel proposed for development, or, if such a location exists, the proposed location is comparable or more favorable in terms of:**

- **Providing a needed community service;**

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- **Providing a critical mass of related and mutually supportive land uses that promote quality economic development and opportunity;**
- **Providing a balance of land uses, ensuring that appropriate supporting activities, such as employment, housing, leisure-time, and retail centers are in close proximity to one another; and**
- **Making more efficient use of public infrastructure.**

While other sites in town exist, which allow for mini-warehouse by right this proposal is about revitalization of the former mall and current market conditions desiring visibility to HWY 14. The proposed usage would not take up desirable commercial frontage to the west and instead utilize existing structural area on the east side of the mall that has reduced commercial desirability.

In the opinion of staff, approval of this special use permit supports development of the mall site by aiding in making conversion to current market demands financially viable.

**Attachments:**

Finding of Facts Report  
Aerial Vicinity Map  
Site Plan

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Mark Mitchell, Greg Nichols, Jeff Schneider, Gary Thompson



### Board of Adjustment Finding of Fact Report

<b>Meeting Date:</b> 6/26/2025	<b>Application Type:</b> SELF-SERVICE STORAGE, MINI-WAREHOUSE SPECIAL USE PERMIT
<b>Zoning District:</b> GC, GENERAL COMEMRCIAL	<b>Comp. plan designation:</b> COMEMRCIAL
<b>Property Address:</b> 2500, 2502, AND 2504 S CENTER STREET	
<b>Property Owner:</b> SHOPS AT MARSHALLTOWN LLC C/O RESERVE DEVELOPMENT 4300 SIGMA RD STE 100 DALLAS TX 75244	
<b>Applicant (if different than owner):</b> N/A	

#### Request Description

Shops at Marshalltown LLC has submitted a special use permit application for establishment of a self-service storage, mini-warehouse facility to be located at 2500 S Center Street.

#### Plan Zoning Commission Recommendation

**The Planning and Zoning Commission met on June 12, 2025 and recommended approval of the special use permit application for 2500, 2502, and 2504 S Center Street subject to the following conditions:**

1. Prior to Board of Adjustment approval of the special use permit the City Council shall have first completed approval of a zoning text amendment related to allowance of self-service storage, mini-warehouse within the GC, General Commercial Zoning District by special use permit.

**STAFF COMMENTARY REGARDING CONDITION #1:** The agenda for the Board of Adjustment meeting is being published prior to final city council approval of Ordinance 15103. However, this ordinance has passed first and second readings by city council and is scheduled for third and final reading on June 23<sup>rd</sup>, 2025 which predates action by Board of Adjustment. Staff will provide a verbal update regarding the status of the zoning text amendment at the Board of Adjustment meeting.

#### New Information introduced for consideration

Findings of Fact (Answer yes or no to each item and provide reasoning if necessary)

YES	NO	Finding Description
		Does the Home Occupation Special Use requested comply with the listed criteria? <i>Reasoning:</i> Vote result if applicable: _____ Yes _____ No
		➤ Will there be exterior display (except allowable sign)? Vote result if applicable: _____ Yes _____ No
		➤ Will the building maintain residential design features? Vote result if applicable: _____ Yes _____ No
		➤ Will the residential character of the neighborhood be maintained? Vote result if applicable: _____ Yes _____ No
		➤ Is the proposed signage limited to one building mounted sign (1 s.f. max)? Vote result if applicable: _____ Yes _____ No
		➤ Will all equipment/merchandise be stored inside: Vote result if applicable: _____ Yes _____ No
		➤ Will there be employees? If yes are they residents of the home or is the Board granting approval? Vote result if applicable: _____ Yes _____ No
		➤ Is the traffic and parking need addressed so to not objectionable to neighbors? Is there adequate parking available on site? Vote result if applicable: _____ Yes _____ No
		➤ Structural modification or additions to the residence for expansion of the home occupation are prohibited, are there planned changes? Vote result if applicable: _____ Yes _____ No

Based on the Findings of Fact the following action occurred:

Motion by \_\_\_\_\_ to APPROVE the request as submitted with the following conditions:

1. This approval allows for self-service storage, mini-warehouse to utilize an area equal to or less than 75,875 square feet in a location as generally shown on the site plan for the special use permit which is attached to and made a part of this approval.
2. Any increase in area utilized for self-service storage, mini-warehouse beyond that of this approval or in an alternate location on this site which is not generally consistent with the location show on the attached site plan shall be subject to an amended special use permit application.
3. Self-service storage, mini-warehouse shall comply with the following standard restrictions for this use within the GC, General Commercial Zoning District:
  - a. All storage uses shall be non-visible from S Center Street. This shall not be interpreted to prohibit installation of a pedestrian entrance on the west façade as generally shown on the attached site plan.
  - b. Individual storage units shall be interior access only.
  - c. Outdoor storage shall be prohibited.

Second by \_\_\_\_\_

Vote results:

Name:	YES	NO	Abstain	Comment
<i>EATON</i>				
<i>ENGLE</i>				
<i>HOGAN</i>				
<i>SCHULZE</i>				
<i>THURSTON</i>				



AERIAL VICINITY MAP

