



**MARSHALLTOWN  
MORE THAN EVER**

**CITY OF MARSHALLTOWN  
BOARD OF ADJUSTMENT  
NOTICE OF PUBLIC MEETING  
CITY HALL COUNCIL CHAMBERS  
10 WEST STATE STREET  
SEPTEMBER 16, 2025, 5:00 PM**

---

**AGENDA**

**CALL TO ORDER**

**ROLL CALL**

Mark Eaton, Tammie Engel, Heidi Hogan, David Schulze, Kelli Thurston

**APPROVAL OF MEETING MINUTES**

1. Approval of Meeting Minutes from July 15, 2025

**BUSINESS**

2. Consider Approval of a Variance Application for 5 S 29th Street
3. Consider Approval of a Variance Application for 202 1/2 N 2nd Street
4. Consider an Appeal of the Determination of Zoning Administrator regarding Residential Usage at 1408 E Main Street

**ADJOURNMENT**

**MISSION STATEMENT**

The City of Marshalltown collaborates to provide a welcoming, safe, vibrant, and growing community.

## **Board of Adjustment**

Meeting Minutes – July 15<sup>th</sup>, 2025

Meeting was called to order at 5:00 PM in the City Council Chambers at 10 W. State Street

### **1. Roll Call:**

Present: Eaton, Thurston, Hogan, Engle

Absent: Schulze

### **2. APPROVAL OF MEETING MINUTES FROM JUNE 26<sup>TH</sup>, 2025**

Motion to approve the June 26<sup>TH</sup>, 2025 meeting minutes made by Engle, seconded by Eaton.

All ayes upon roll call. Motion Carried.

### **3. PUBLIC HEARING: SPECIAL USE PERMIT APPLICATION FOR 2500, 2502 , & 2504 S CENTER STREET**

Motion made by Hogan to remove from table for further consideration. Seconded by Eaton.

All ayes upon roll call. Motion Carried.

Clayton Ender, Assistant Director of Housing and Community Development, presented the staff report.

Applicant, Jeff came to the podium, explained it's a retail power center. 8600 sq ft in the back of the building is difficult to lease. Hoping that they can get some entertainment in some of that square footage. To make the project financially viable, the storage is needed. Jeff brought Fire Marshall Josh Warnell to the council meeting.

Thurston shared the board wanted to understand if all other avenues of utilization was exhausted before mini storage was sought to fill the large area. Thurston and Hogan wanted to know what could be stored in the mini storage due to fire concerns.

Jeff shared retail wants front retail due to visibility. The storage would be going in the old JC Penney space. Finding a retailer to use that a 50,000 square footage space. The largest retailer going into the mall needs 22,000 square footage. Jeff explained the 3 hour fire wall, and climate control of the building. It will be professionally managed mini storage space with a centrally located office.

Hogan asked about mall walking, Jeff clarified that there will not be in any internal open space for mall working.

Hogan asked about the series of long hallways. Jeff explained its all up to code via the architects. Part of the building will be removed for a truck courtyard for loading and trash removal.

The build out of the tenant space has not been submitted to Planning for review yet, only the demo.

Per Jeff the tenants are on 10 year leases. Every space except 2 have been spoken for. Jeff's group has done mini storage in other developments but have also put in sports development businesses that do not require store frontage.

Staff reviewed mini storage plans, and what is code compliant.

Thurston is concerned we may have another Uhaul type business front. Staff clarified that there is only internal access. Jeff shared there would be 2 truck accesses.

Thurston asked about signage for mini storage. Jeff shared self-storage would probably be on the bottom of the pylon sign and sign on backside.

Hogan asked about the movie theater entrance being on the rear. Jeff shared that may change but would not give details.

Hogan asked about the retailers. Jeff shared the scope of the stores being national retailers in the realm of sports, shoes, cosmetics, clothes. Hoping an entertainment will come out of Iowa.

Eaton clarified that the front would be egress only. Jeff shared access if by a key card. Eaton asked about an out lot. Jeff shared he knows the owner and in talks with the gentleman to try to purchase the rest of the area.

No further questions of discussion from the board.

Motion by Thurston to APPROVE the request as submitted with the following conditions:

1. This approval allows for self-service storage, mini-warehouse to utilize an area equal to or less than 75,875 square feet in a location as generally shown on the site plan for the special use permit which is attached to and made a part of this approval.
2. Any increase in area utilized for self-service storage, mini-warehouse beyond that of this approval or in an alternate location on this site which is not generally consistent with the location show on the attached site plan shall be subject to an amended special use permit application.
3. Self-service storage, mini-warehouse shall comply with the following standard restrictions for this use within the GC, General Commercial Zoning District:
  - a. All storage uses shall be non-visible from S Center Street. This shall not be interpreted to prohibit installation of a pedestrian entrance on the west façade as generally shown on the attached site plan.
  - b. Individual storage units shall be interior access only.
  - c. Outdoor storage shall be prohibited.

Second by Engle

All eyes upon roll call. Motion Carried.

**4. PUBLIC HEARING: VARIANCE APPLICATION REGARDING FENCE HEIGHT FOR 301 TO 319 N 10<sup>TH</sup> AVENUE**

Clayton Ender, Assistant Director of Housing and Community Development, presented the staff report.

Staff described the project history.

Hogan abstained because it is a CGA project.

Eaton asked if the fence needs to be against the sidewalk. Staff drafted the approval it could go up to the sidewalk, but up to the board's purview.

Jacob with the construction company approached the podium. Asked for clarification on the question. Eaton wanted to know if the fence had to go right against the sidewalk. Jacob said he thought it was meant to go 3 ft back, but could double check with JBS.

Thurston voiced she has no concern about the fence height.

Motion by Hogan to APPROVE the request as submitted with the following conditions:

1. Fencing shall not include any privacy slats or barbed wire.

Second by Thurston

All eyes upon roll call. Motion Carried.

**2. PUBLIC HEARING: VARIANCE APPLICATION REGARDING EXTERIOR BUILDING MATERIALS FOR 629 W LINCOLN WAY**

Clayton Ender, Assistant Director of Housing and Community Development, presented the staff report.

Staff shared the information that Shendel provided, including the comp plan. The number of buildings in the area that are metal.

Hogan asked about setting a precedence concerns. Staff shared that it is a balancing act.

Specs of the materials were provided. Currently they can use up to 20% of the secondary material.

Bill Schendel shared their current building location, and the history of the building, and the business growing. Bill is the 2<sup>nd</sup> generation, and his children are the 3<sup>rd</sup> generation. Business has been in business for 70 years.

Thurston clarified this is in addition to the already 2 buildings making it a 3<sup>rd</sup> building. Photos of the business location were shared. Description of the building and it's usage of the building. Storage of vehicles would be the use of the building. Thurston asked about signage.

Thurston asked about the project timeline. Bill shared they had hoped to have started in January of 2025

Motion by Eaton to APPROVE the request to allow for up to 100% of each façade to be constructed using embossed or pre-finished architectural metal panel (26+ gauge), which has an appearance of masonry, stucco, or any other appearance that is approved by the Zoning Administrator. The fence would need to be a minimum 3ft set back from the sidewalk.

Second by Thurston

All ayes upon roll call. Motion Carried.

### **3. PUBLIC HEARING: VARIANCE APPLICATION REGARDING DEVELOPMENT LANDSCAPING AND 104 S 8<sup>TH</sup> AVENUE**

Clayton Ender, Assistant Director of Housing and Community Development, presented the staff report.

John R from Marshalltown company spoke about the plans and the water retention, utilities and the railroad restrictions.

Eaton clarified the location with utilizing the photos provided.

Woodruff shared that this would be a continuation of the current landscaping.

Hogan asked if other greenery could be placed in instead of the overstory trees.

Eaton spoke of the comp plan and the plan to green up the community.

Erin Carpenter came to the podium, shared that this area of the neighborhood is only 4%. Trees are not just a beautiful thing, should be regarded as a public utility. Improves mental health, walk-ability, physical health etc Asked for understory trees, and neighborhood outreach to plant more trees. Talked about the history of care Marshalltown Company has had for the community.

John Hall spoke about the 1<sup>st</sup> iteration of the zoning code. John spoke about the restraints of the area to put in overstory trees.

Eaton asked about carbon tax credits and if Marshalltown Company could plant their trees in another area instead of on their location.

John Hall talked about stormwater retention that is similar in strategy.

Thurston is there somewhere else that the trees could be planted on other property that they own. Concern for the tree canopy that the city has lost.

Staff shared in their view this is a practical difficulty. No right place to plant the right trees.

Motion by Eaton to APPROVE the request to waive the requirement for new development landscaping as required by § 156.F.003(C)(3).

Second by Thurston

All ayes upon roll call. Motion Carried.

**4. PUBLIC HEARING: VARIANCE APPLICATION REGARDING DEVELOPMENT LANDSCAPING, PARKING LOT SCREENING, AND BUFFER LANDSCAPING FOR 713 TO 715 E MAIN STREET, 708 TO 716 NOBLE STREET, AND 706 E LINN STREET**

Clayton Ender, Assistant Director of Housing and Community Development, presented the staff report.

Hogan abstained due to it being a CGA project.

Eaton clarified there would be overstory trees.

Erin Carpenter, 802 N. 4<sup>th</sup> St., - there is room for trees, not a space problem but a design problem. Find vegetation that enhances the esthetic. Trees that shade concrete give a longer life span for concrete. Would like to know if design company looked into more holistic tree options.

Eaton talked about comp plan that we want to move forward but the issue is that if we don't implement the zoning why are we paying for the studies and comp plan.

Staff went over the zoning code requirements.

Thurston asked if there was any overhead or underground utilities that make planting difficult.

Staff shared the overhead but wasn't aware of underground. Does this meet the practical difficulty measure? New state code being implemented.

Marshalltown Company asked to continue their presentation. Photos of homes taken down shown. Stated that it's been a big transformation. Would like a continuation of landscape design. Marshalltown Company did speak to neighbors, and the neighbors were in favor of Marshalltown Company's plan. Continued power point presentation. Marshalltown Company believes their plan is a huge step forward.

Eaton shared he appreciated the presentation. Discussed the history of the planning zoning and the comp plan.

Motion by Thurston to APPROVE the variance request to modify the requirement for new parking lot screening as required by § 156.F.003(B)(5), to modify the requirement for new development landscaping as required by § 156.F.003(C)(3), and to modify the requirement for buffer landscaping as required by § 156.F.004(C). The modified requirements shall consist of the following:

1. Development landscaping requirements may be met by installation of buffer landscaping or parking lot screening landscaping. The total plantings required on-site shall not be less than the standard development landscaping requirement.
2. Buffer landscaping between the GI Zoning District and the RM Zoning District shall be composed of a continuous row of overstory, evergreen, and ornamental trees that effectively provides a solid visual barrier.
3. Parking lot screening shall not be required to install trees as a part of the requirement. The requirement for a minimum 3-foot-tall screen shall remain required.

Second by Engle

All eyes upon roll call. Motion Carried.

Meeting Adjourned at 6:22 PM

# MARSHALLTOWN

I O W A

HOUSING & COMMUNITY DEVELOPMENT

Deb Millizer, Director  
Clayton Ender, Assistant Director  
24 North Center Street  
Marshalltown, IA 50158-4911  
Tel - (641) 754-5756  
Fax - (641) 754-5717

**TO:** Board of Adjustment  
**FROM:** Clayton Ender, Assistant Housing & Community Development Director  
**DATE:** September 16<sup>th</sup>, 2025  
**RE:** Consider Approval of a Variance Application for 5 S 29<sup>th</sup> Street

|  |  |
|--|--|
| <b>City Staff Contact:</b>             | Clayton Ender, AICP<br>Assistant Director of Housing and Community Development<br>Phone: 641-754-5756<br>Email: cender@marshalltown-ia.gov   |
| <b>Property Owner &amp; Applicant:</b> | Daniel J & Rhonda L Vaske<br>5 S 29 <sup>th</sup> St<br>Marshalltown IA 50158  |
| <b>Recommendation:</b>                 | Staff recommends denial of the variance. Staff finds that while the zoning regulation limiting detached accessory structure area creates an inconvenience the need for the variance is not based on a practical difficulty in complying with the dimensional regulations of the zoning ordinance.  |
| <b>Comprehensive Plan:</b>             | The subject property is identified in the comprehensive plan with a future land use designation of Low Density Residential which is defined as, "Single-family detached and two-family residential development at a density of 4-6 units per acre."<br><br>The proposed usage of the development site is consistent with the comprehensive plan. |
| <b>Zoning District:</b>                | RL, Low Density Residential Zoning District  |

**CITY COUNCIL**

Melisa Fonseca, Barry Kell, Mike Ladehoff,  
Mark Mitchell, Greg Nichols, Jeff Schneider, Gary Thompson



**Review Criteria:**

In determining whether to approve, approve with conditions, or deny a variance, the Board of Adjustment shall consider the following review criteria:

- 1. The administrative body has considered the recommendation of staff.**

Staff recommends denial of the variance. Staff finds that while the zoning regulation limiting detached accessory structure area creates an inconvenience the need for the variance is not based on a practical difficulty in complying with the dimensional regulations of the zoning ordinance.

- 2. The request is consistent with applicable policies of the Comprehensive Plan and applicable utility plans and capital improvements plans; or, if it addresses a topic that is not contained or not fully developed in the Comprehensive Plan, the request does not impair the implementation of the Comprehensive Plan.**

The comprehensive plan does not address detached accessory structure standards. Granting or denial of this variance would not impair the implementation of the comprehensive plan.

- 3. The request promotes the purposes of this Zoning Ordinance as established in § 156.A.002, Purposes, and in other applicable purpose statements in this chapter.**

§ 156.A.002(B)(1) "Protecting and enhancing the character and property values of all parts of the city"

§ 156.A.002(B)(3) "Improving the city's appearance through the regulation of design, where such regulations are appropriate"

- 4. Adequate facilities, including public or private utilities, solid waste service, roads, drainage, and other improvements are present or are planned to be provided.**

**CITY COUNCIL**

Melisa Fonseca, Barry Kell, Mike Ladehoff,  
Mark Mitchell, Greg Nichols, Jeff Schneider, Gary Thompson



The subject property has adequate access to existing public streets, water, sanitary sewer, storm sewer and other utilities.

**5. The request demonstrates compatibility with surrounding conforming and permitted land uses and structures and with the general character of the area.**

Adjacent uses are residential, primarily single-family dwellings. The request is compatible with adjacent land uses.

**6. The granting of the variance is not based on a hardship which is self-imposed;**

The need for the variance is based upon the desire of the applicant to construct a new detached accessory structure. The proposed structure itself would exceed the maximum detached structure allowance, but is further exacerbated by the presence of an existing detached shed on the property.

**7. The hardship is not based solely on the cost of complying with the regulation, but is based on the particular physical surroundings, shape, or topographical conditions of the subject property;**

In the opinion of staff, the hardship is not based on any particular unique physical condition of the property.

**8. The hardship is based on circumstances that are unique to the property for which the variance is sought and not circumstances common to other properties;**

In the opinion of staff, the hardship is a common hardship. While the regulation restricting maximum detached accessory structure area creates an inconvenience it is not a unique regulation that only applies to the subject property. Rather, the regulation applies equally to all residential properties in the city limits.

**CITY COUNCIL**

Melisa Fonseca, Barry Kell, Mike Ladehoff,  
Mark Mitchell, Greg Nichols, Jeff Schneider, Gary Thompson



**9. The variance requested is the minimum necessary that will make possible a permitted use of the land, building, or structure;**

The variance as requested would be the minimum necessary relief to construct the proposed building.

**10. A literal interpretation of the provisions of this Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other residents of the district in which the property is located; and**

A literal interpretation of the ordinance would not deprive the applicant from constructing detached accessory structures with a cumulative total of 1,000 square feet. They would be able to still have detached accessory structures in a similar manner to other properties that are 0.5 acres or less in size.

**11. Granting the variance will not confer on the applicant any special privilege that is denied to other lands or structures in the same district.**

In the opinion of staff, granting a variance confers on the applicant a special privilege for additional detached accessory structure area without showing of unique site conditions. Granting of a variance would be based on the showing of mere inconvenience alone.

**Attachments:** Findings of Fact Report  
Aerial Vicinity Map  
Variance Application

**CITY COUNCIL**

Melisa Fonseca, Barry Kell, Mike Ladehoff,  
Mark Mitchell, Greg Nichols, Jeff Schneider, Gary Thompson



**Board of Adjustment Finding of Fact Report**

|   |   |
|---|---|
| <b>Meeting Date:</b> September 16, 2025   | <b>Application Type:</b> Variance                                 |
| <b>Zoning District:</b><br>RL, Low Density Residential Zoning District                                      | <b>Comprehensive Plan Designation:</b><br>Low Density Residential |
| <b>Property Address:</b><br>5 S 29 <sup>th</sup> Street   |   |
| <b>Property Owner:</b><br>Daniel J & Rhonda L Vaske<br>5 S 29 <sup>th</sup> Street<br>Marshalltown IA 50158 |   |

Request Description: The applicant is seeking a relief to §156.C.007(E)(3) of the City of Marshalltown Zoning Ordinance. This section of city code establishes that a property of 0.5 acres in size or less is allowed a maximum of 1,000 square feet of detached accessory structure (cumulative total). The applicant is seeking permission to have a maximum of 1,200 square feet of detached accessory structure area (cumulative total).

Hardship as stated in the application

The applicant states that because there is an existing accessory structure on the property they are therefore able to construct a new 28 foot X 36 foot detached accessory structure on the property.

New Information introduced for consideration

Findings of Fact (Answer yes or no to each item and provide reasoning if necessary)

| YES | NO | Finding Description   |
|-----|----|---|
|     | X  | <p><b>Not Self Imposed.</b> The granting of the Variance is not based on a hardship which is self-imposed?<br/> <i>Reasoning:</i></p> <p style="text-align: right;">Vote result if applicable: _____ Yes _____ No</p>   |
|     | X  | <p><b>Based on Cost.</b> The hardship is not based solely on the cost of complying with the regulation, but is based on the particular physical surroundings, shape, or topographical conditions of the subject property?<br/> <i>Reasoning:</i></p> <p style="text-align: right;">Vote result if applicable: _____ Yes _____ No</p>              |
|     | X  | <p><b>Unique Circumstances.</b> The hardship is based on circumstances that are unique to the property for which the Variance is sought and not circumstances common to other properties?<br/> <i>Reasoning:</i></p> <p style="text-align: right;">Vote result if applicable: _____ Yes _____ No</p>  |
|     | X  | <p><b>Commonly Enjoyed Rights.</b> A literal interpretation of the provisions of this Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other residents of the district in which the property is located; and<br/> <i>Reasoning:</i></p> <p style="text-align: right;">Vote result if applicable: _____ Yes _____ No</p> |
|     | X  | <p><b>Not A Special Privilege.</b> Granting the variance will not confer on the applicant any special privilege that is denied to other lands or structures in the same district.<br/> <i>Reasoning:</i></p> <p style="text-align: right;">Vote result if applicable: _____ Yes _____ No</p>  |

Based on the Findings of Fact the following action occurred:

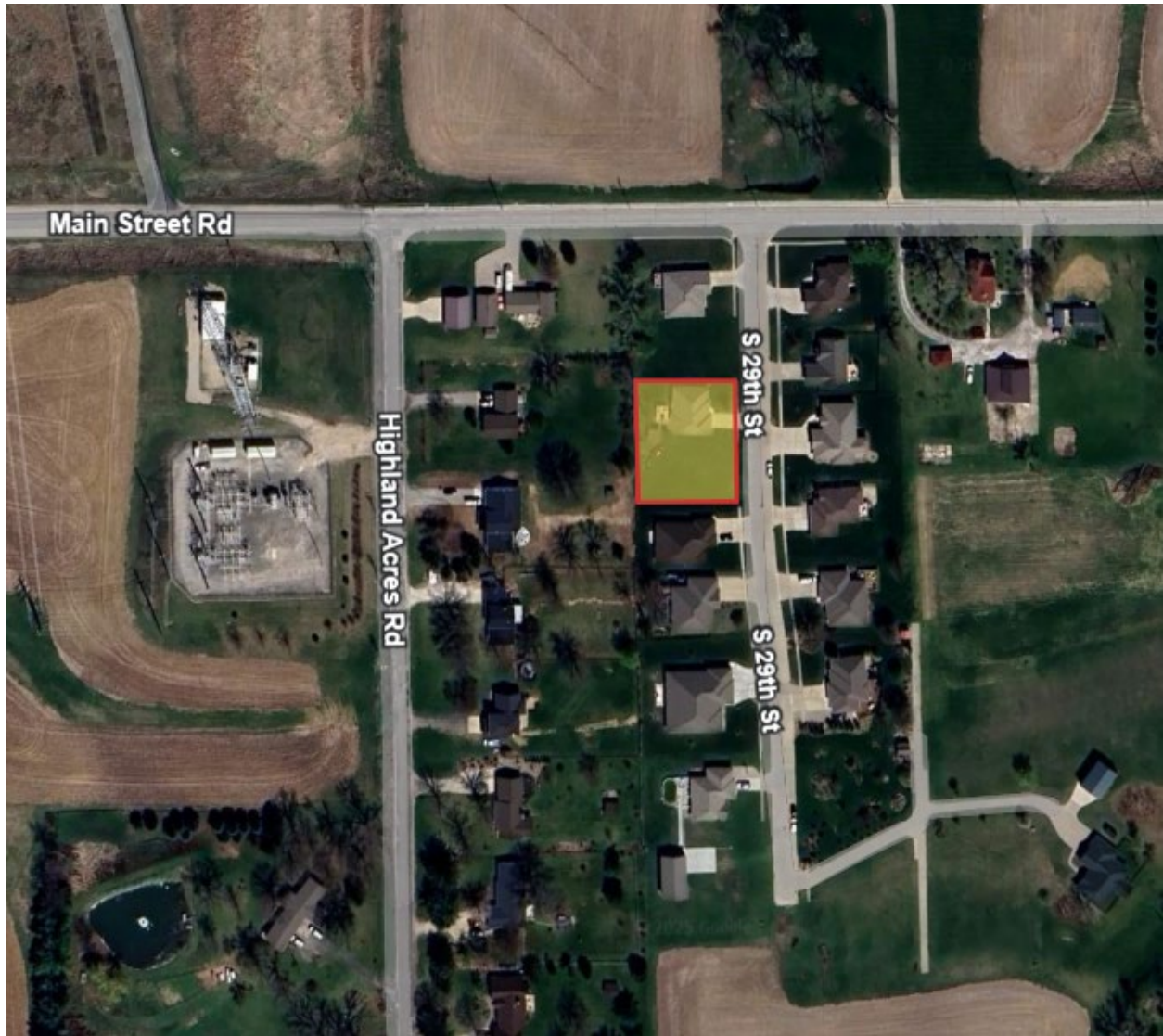
- Motion by \_\_\_\_\_ to DENY the variance request to allow a maximum of 1,200 square feet of detached accessory structure area in lieu of the standard maximum of 1,000 square feet.

Second by \_\_\_\_\_

Vote results:

| Name:           | YES | NO | Abstain | Comment |
|-----------------|-----|----|---------|---------|
| <i>Engle</i>    |     |    |         |         |
| <i>Eaton</i>    |     |    |         |         |
| <i>Sanchez</i>  |     |    |         |         |
| <i>Schulze</i>  |     |    |         |         |
| <i>Thurston</i> |     |    |         |         |

# Aerial Vicinity Map



# MARSHALLTOWN

I O W A

## HOUSING & COMMUNITY DEVELOPMENT DEPARTMENT

36 North Center Street, Marshalltown, IA 50158

Ph: 641-754-5756 Fax: 641-754-5742

[www.marshalltown-ia.gov](http://www.marshalltown-ia.gov)

---

### Variance Application Packet

---

**Purpose:** Zoning regulations include specific development standards. There are occasions, however, when the strict application of such standards may be inappropriate because of unique characteristics of the property. The variance procedure is designed to permit minor adjustment to the zoning regulations where there are unique or extraordinary circumstances applying to a parcel of land or building that prevent the property from being used to the extent intended by the zoning. Unique circumstances may include factors such as the size, shape, topography, vegetation, wetlands, or other unique characteristics of the land.

**Pre-Application Meeting:** The applicant is required to meet with the Zoning Administrator prior to submitting an application to discuss the feasibility of the request as well as any possible alternatives that may eliminate the need for a variance or improve the chance of the variance being granted. A preliminary site plan should be brought to this meeting to review the project design as it relates to the zoning requirements.

**Application Packet:** Applications will not be accepted unless complete. All required items must be submitted with the application. Failure to complete and submit all the required materials as a part of this application will result in a delay in accepting your application until it is complete.

**Submission Deadline:** The complete application with fee must be submitted by 4:30 p.m. three weeks prior to the scheduled meeting date to the Housing & Community Development Department Office, located at 36 N. Center Street.

**Board Meetings:** The Board of Adjustment considers the facts presented by the applicant in the application and testimony given at the public hearing, and makes the final decision, based on the standards in the Ordinance. The Board meetings are tentatively scheduled for 5:00 p.m. on the third Tuesday of each month in the City Council Chambers, second floor of City Hall, 10 W. State Street. Attendance at the meeting is required.

It is the burden of the property owner to provide sufficient facts with this application and at the Board of Adjustment meeting to support a finding that all the standards for approval have been met. The concurring vote of three (3) members of the Board is necessary to decide any issue before the board regardless of the number of members present at the meeting. The Board is a five (5)-member board. Appeals to the decision of the Board of Adjustment can be made in District Court.

**Notifications:** The City will place a sign on the property to notify the public that a variance request has been submitted. The sign includes the city's phone number so that concerned individuals will have an opportunity to learn about the proposal and can present information on this matter to the board at the public hearing. A notice of public hearing is also published in the newspaper.

Date Submitted & Fee Paid: \_\_\_\_\_

Hearing Date: \_\_\_\_\_

# Variance Application Form

36 N. Center Street, Marshalltown, IA 50158 Ph: 641-754-5756 Fax: 641-754-5742

www.marshalltown-ia.gov

**All items listed must be submitted with this application:**

Failure to complete and submit all the required materials as a part of this application will result in a delay in accepting your application until it is complete.

\_\_\_\_\_ **A site plan, drawn in ink and to scale, which clearly shows the variance being sought. This site plan shall not be larger than 11" X 17." And must include:**

- Dimensioned property lines indicating any easements;
- Location & identification of adjacent streets and alleys;
- Location and size of all existing and proposed buildings and structures (include distances to all property lines and distances between buildings and structures.);
- Dimensioned driveways and parking areas; and
- Any other pertinent information necessary to fully understand the need for a variance.

\_\_\_\_\_ **Site photographs** showing all views of the property, including any special features such as topography and existing and adjacent structures. **Please note:** Materials submitted with the application or presented as evidence during the public hearing will not be returned and must be kept as a part of the public record.

\_\_\_\_\_ **Completion of all of the following questions included in this application.**

\_\_\_\_\_ **Legal description of the property.** The property owner should have a copy of the legal description. If not, owners may obtain a copy of the recorded deed, which contains the legal description, from the Marshall County Recorder's Office for a fee.

\_\_\_\_\_ **Application fee.** A fee of **\$150 for owner-occupied residential properties** and a fee of **\$200 for any other property** is required payable to "City of Marshalltown." The fee must be paid when the application is submitted to the Housing Department.

**Please type or print legibly in ink.**

|   |            |
|---|------------|
| Property Address:<br><i>5 South 29<sup>th</sup> Street</i>                          |            |
| Owner:<br><i>Daniel &amp; Rhonda Vaske</i>  |            |
| Mailing Address:<br><i>Daniel Vaske 5 south 29<sup>th</sup> street Marshalltown</i> |            |
| Phone:<br><i>641-751-2679</i>   | Fax:       |
| Email Address:<br><i>Danielvaske1292@gmail.com</i>                                  |            |
| Owner's Agent (if applicable):  |            |
| Agent Phone:  | Agent Fax: |

All of the following questions must be answered. The board will use this information to review your request. Additional information may be attached if necessary. Contact the Housing & Community Development Director at 641-754-5756 with any questions.

**The applicant makes the following request:** For Variance For Larger Building on address #7 South 29<sup>th</sup> St.

**Please state your hardship.** #5 S. 29<sup>th</sup> St. and #7 are one parcel, lot join in process. #7 is a completely open lot, New building size being restricted because of 12x16 building on #5. I wish to erect a 28x36 building on #7 South 29<sup>th</sup> to accommodate storage and small work shop.

**In order to grant a variance, the Board of Adjustment must make a finding of unnecessary hardship.** The hardship must be related to the physical aspects of the property and not a personal hardship. The granting of a variance should not merely serve as a convenience to the applicant. **To support a finding of unnecessary hardship, the board must find, based upon your evidence, that all of the following are met:**

- 1. The land in question cannot yield a reasonable return if used only for a purpose allowed in the district.** State how you will lose all beneficial use and/or enjoyment of the property if the variance is not granted. You may include supporting evidence from a professional appraiser, real estate professional, or other professional. The Board may require documentation of loss of value in order to grant this variance. *I am in need of more space to do Hobby work, and to declutter my property. I'm a retired tool & Die Maker and enjoy Hobby's which require space to work in*
- 2. This variance is required because of the unique circumstances of this property and not the general conditions of the neighborhood.** The applicant must show that physical circumstances (such as an odd-shaped lot or difficult topography) on the property are unique to this property and unlike other properties in the vicinity. Also, the hardship should not be self-inflicted. *The property's are .24 acre per lot putting me at just under .5 acres, .02 acres under a .5 total which would allow for the larger building*

3. **The proposal will not alter the present character of the area or seriously affect any adjoining property.** The applicant must show that the proposal is compatible with the character of the surrounding area.

*It is not my intent to decharacter the surrounding area in any way shape or form. The build will be done in respect for the neighborhood in color and shape of other architecture in the area*

4. **The variance will not be in contrary to the public interest.** The applicant must present information to indicate the variance will not impair an adequate supply of light and air to adjacent property, will not unreasonably increase the congestion in public streets or endanger public safety, nor will it devalue nearby property.

*The building will be tastefully positioned on the lot as not to hinder any of the above, nor to comedically devalue any one else's property.*

5. **The general intent and purpose of the Zoning Ordinance is protected.** A variance must be consistent with the intent of the Zoning Ordinance and the Comprehensive Plan. Is there another option which you could pursue that would not require a variance? If alternatives exist which do not require a variance, the proposal would not be consistent with the intent of the Zoning Ordinance and Comprehensive Plan.

*The only other option is that if the variance is denied that a smaller building be built, this would not allow for proper storage of my belongings to declutter my lot.*

**Additional Comments and Information:** *I plan on using the building to store property in that would aesthetically improve my lot, And do my hobby work in. Please consider my request*

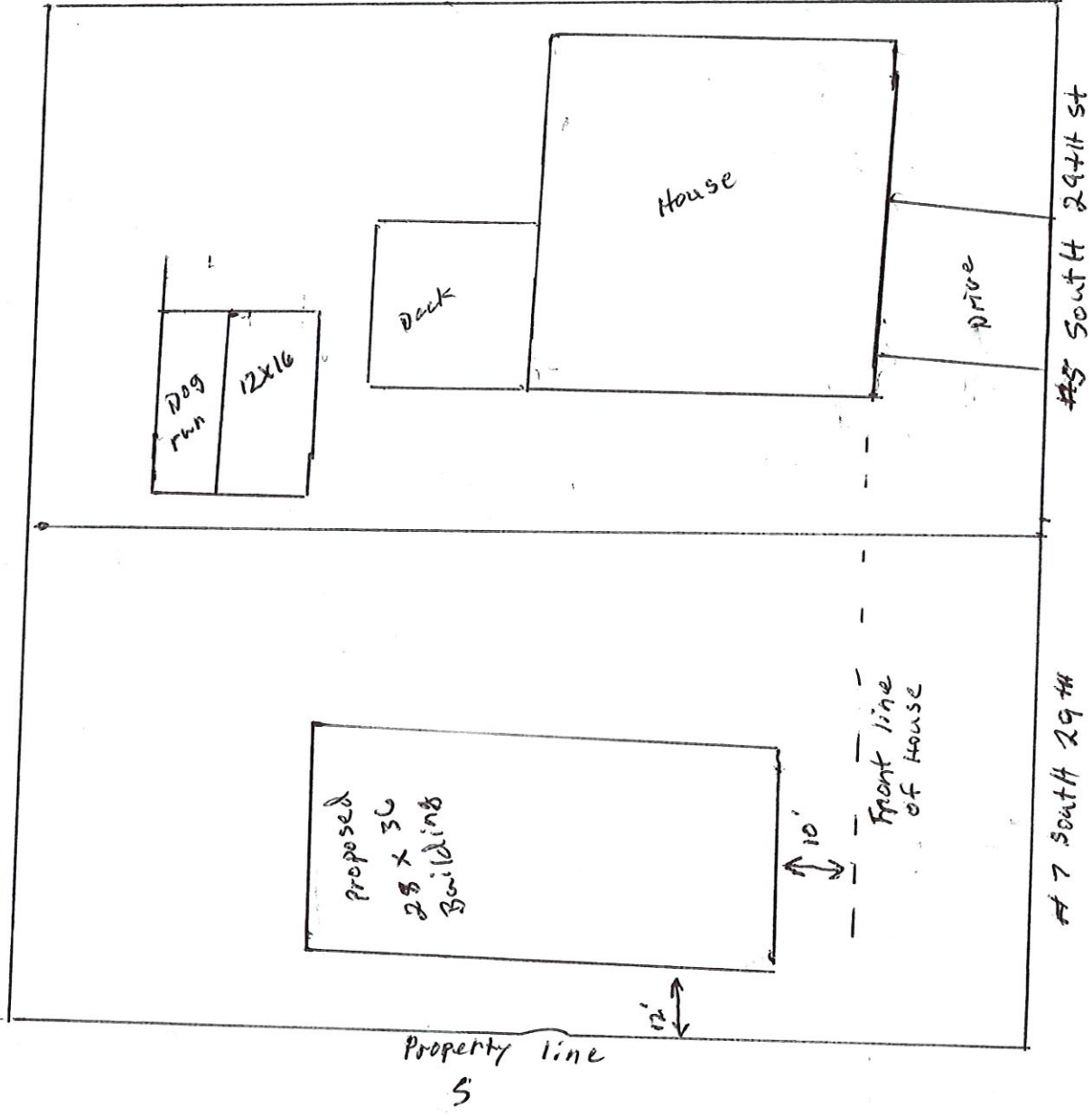
**As evidenced by the signature(s) below, I (we) certify that I (we) have been denied a building/zoning permit, that I (we) have submitted all the required information to appeal for a variance, and that said information is factual.**

|  |                                |
|--|--------------------------------|
| Owner Signature:<br><i>Daniel J. White</i> | Date:<br><i>August 20 2025</i> |
| -OR- Agent Signature:                      | Date:                          |

W

N

E



# MARSHALLTOWN

I O W A

HOUSING & COMMUNITY DEVELOPMENT

Deb Millizer, Director  
Clayton Ender, Assistant Director  
24 North Center Street  
Marshalltown, IA 50158-4911  
Tel - (641) 754-5756  
Fax - (641) 754-5717

**TO:** Board of Adjustment  
**FROM:** Clayton Ender, Assistant Housing & Community Development Director  
**DATE:** September 16<sup>th</sup>, 2025  
**RE:** Consider Approval of a Variance Application for 202 ½ N 2<sup>nd</sup> Street

|  |  |
|--|--|
| <b>City Staff Contact:</b>             | Clayton Ender, AICP<br>Assistant Director of Housing and Community Development<br>Phone: 641-754-5756<br>Email: cender@marshalltown-ia.gov   |
| <b>Property Owner &amp; Applicant:</b> | D&D Rentals Inc.<br>607 Elmwood Dr<br>Marshalltown IA 50158  |
| <b>Recommendation:</b>                 | Staff recommends approval of the variance to allow for a driveway within the front yard which is in front of the dwelling, but not leading to a garage.  |
| <b>Comprehensive Plan:</b>             | The subject property is identified in the comprehensive plan with a future land use designation of Low Density Residential which is defined as, "Single-family detached and two-family residential development at a density of 4-6 units per acre."<br><br>The proposed usage of the development site is consistent with the comprehensive plan. |
| <b>Zoning District:</b>                | RM, Medium Density Residential Zoning District   |

**CITY COUNCIL**

Melisa Fonseca, Barry Kell, Mike Ladehoff,  
Mark Mitchell, Greg Nichols, Jeff Schneider, Gary Thompson



**Review Criteria:**

In determining whether to approve, approve with conditions, or deny a variance, the Board of Adjustment shall consider the following review criteria:

- 1. The administrative body has considered the recommendation of staff.**

Staff recommends approval of the variance application.

- 2. The request is consistent with applicable policies of the Comprehensive Plan and applicable utility plans and capital improvements plans; or, if it addresses a topic that is not contained or not fully developed in the Comprehensive Plan, the request does not impair the implementation of the Comprehensive Plan.**

The comprehensive plan does not driveway standards. Granting of this variance would not impair the implementation of the comprehensive plan.

- 3. The request promotes the purposes of this Zoning Ordinance as established in § 156.A.002, Purposes, and in other applicable purpose statements in this chapter.**

§ 156.A.002(B)(1) "Protecting and enhancing the character and property values of all parts of the city"

§ 156.A.002(B)(3) "Improving the city's appearance through the regulation of design, where such regulations are appropriate"

- 4. Adequate facilities, including public or private utilities, solid waste service, roads, drainage, and other improvements are present or are planned to be provided.**

The subject property has adequate access to existing public streets, water, sanitary sewer, storm sewer and other utilities.

- 5. The request demonstrates compatibility with surrounding conforming and permitted land uses and structures and with the general character of the area.**

Adjacent uses are residential, primarily single-family dwellings. The request is compatible with adjacent land uses.

**CITY COUNCIL**

Melisa Fonseca, Barry Kell, Mike Ladehoff,  
Mark Mitchell, Greg Nichols, Jeff Schneider, Gary Thompson



**6. The granting of the variance is not based on a hardship which is self-imposed;**

The need for the variance is created due to the size and age of the property. The home was built in 1910 and the property boundaries, in the current configuration, was created around the same timeframe. This predates establishment of zoning and current parking regulations for the city. This also predates the rise of cars as a dominate form of transportation.

In the opinion of staff, the need for a variance is not self-inflicted due to the current configuration of the property being developed prior to creation of city ordinances addressing zoning or parking.

**7. The hardship is not based solely on the cost of complying with the regulation, but is based on the particular physical surroundings, shape, or topographical conditions of the subject property;**

The subject property is platted and developed such that an alternative driveway configuration that would not require a variance is not feasible. This is based upon the age of the home and age of platting of the property predating creation of zoning and parking regulations for the city.

In the opinion of staff, the hardship is not based solely on the cost of complying with the regulation.

**8. The hardship is based on circumstances that are unique to the property for which the variance is sought and not circumstances common to other properties;**

In the vicinity of this property most properties are larger in nature or have homes situated that a driveway in compliance with city code is permitted. This property does appear to be unique in size and configuration and again this appears to be a result of the property being developed in 1910 which predates establishment of zoning and parking regulations. At the time of development, it would not have been feasible to foresee the regulations we have today and therefore design to allow for a driveway in compliance with current regulations.

In the opinion of staff, the hardship is unique to the subject property and not a common circumstance.

**CITY COUNCIL**

Melisa Fonseca, Barry Kell, Mike Ladehoff,  
Mark Mitchell, Greg Nichols, Jeff Schneider, Gary Thompson



**9. The variance requested is the minimum necessary that will make possible a permitted use of the land, building, or structure;**

The variance would allow for a single car driveway. The majority of the driveway will be located within the side yard portion of the front yard, but the driveway will extend in front of the dwelling. The portion of the driveway in front of the dwelling has been kept to the minimum necessary to allow for a single car driveway.

**10. A literal interpretation of the provisions of this Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other residents of the district in which the property is located; and**

A literal interpretation of the ordinance would prevent the property from having any off-street parking facilities. Except for unique circumstances, such as this subject property, the development of off-street parking is a common right of most residential properties in town.

**11. Granting the variance will not confer on the applicant any special privilege that is denied to other lands or structures in the same district.**

In the opinion of staff, granting a variance does not confer the applicant any special privilege. This is based on the fact that without granting a variance the applicant would otherwise be denied the ability to construct a driveway which is a commonly enjoyed right of other properties in town.

**Attachments:**

Findings of Fact Report  
Aerial Vicinity Map  
Variance Application

**CITY COUNCIL**

Melisa Fonseca, Barry Kell, Mike Ladehoff,  
Mark Mitchell, Greg Nichols, Jeff Schneider, Gary Thompson



**Board of Adjustment Finding of Fact Report**

|   |   |
|---|---|
| <b>Meeting Date:</b> September 16, 2025   | <b>Application Type:</b> Variance                                 |
| <b>Zoning District:</b><br>RM, Medium Density Residential Zoning District             | <b>Comprehensive Plan Designation:</b><br>Low Density Residential |
| <b>Property Address:</b><br>202 ½ N 2 <sup>nd</sup> Street                            |   |
| <b>Property Owner:</b><br>D&D Rentals Inc.<br>602 Elmwood Dr<br>Marshalltown IA 50158 |   |

Request Description: The applicant is seeking a relief to §72.203(B)(1)b which establishes that “no driveway shall be located in front of a dwelling, except for any dwelling area portions attached to and located above or behind a garage.” The applicant is seeking to install a driveway in front of the dwelling, but not leading to a garage.

Hardship as stated in the application

The property currently lacks off-street parking and residents must rely upon on-street parking only. Existing conditions for the property would prohibit installation of off-street parking due to lot size and lack of any garage on the property.

New Information introduced for consideration

Findings of Fact (Answer yes or no to each item and provide reasoning if necessary)

| YES | NO | Finding Description   |
|-----|----|---|
|     |    | <p><b>Not Self Imposed.</b> The granting of the Variance is not based on a hardship which is self-imposed?<br/> <i>Reasoning:</i></p> <p style="text-align: right;">Vote result if applicable: _____ Yes _____ No</p>   |
|     |    | <p><b>Based on Cost.</b> The hardship is not based solely on the cost of complying with the regulation, but is based on the particular physical surroundings, shape, or topographical conditions of the subject property?<br/> <i>Reasoning:</i></p> <p style="text-align: right;">Vote result if applicable: _____ Yes _____ No</p>              |
|     |    | <p><b>Unique Circumstances.</b> The hardship is based on circumstances that are unique to the property for which the Variance is sought and not circumstances common to other properties?<br/> <i>Reasoning:</i></p> <p style="text-align: right;">Vote result if applicable: _____ Yes _____ No</p>  |
|     |    | <p><b>Commonly Enjoyed Rights.</b> A literal interpretation of the provisions of this Zoning Ordinance would deprive the applicant of rights commonly enjoyed by other residents of the district in which the property is located; and<br/> <i>Reasoning:</i></p> <p style="text-align: right;">Vote result if applicable: _____ Yes _____ No</p> |
|     |    | <p><b>Not A Special Privilege.</b> Granting the variance will not confer on the applicant any special privilege that is denied to other lands or structures in the same district.<br/> <i>Reasoning:</i></p> <p style="text-align: right;">Vote result if applicable: _____ Yes _____ No</p>  |

Based on the Findings of Fact the following action occurred:

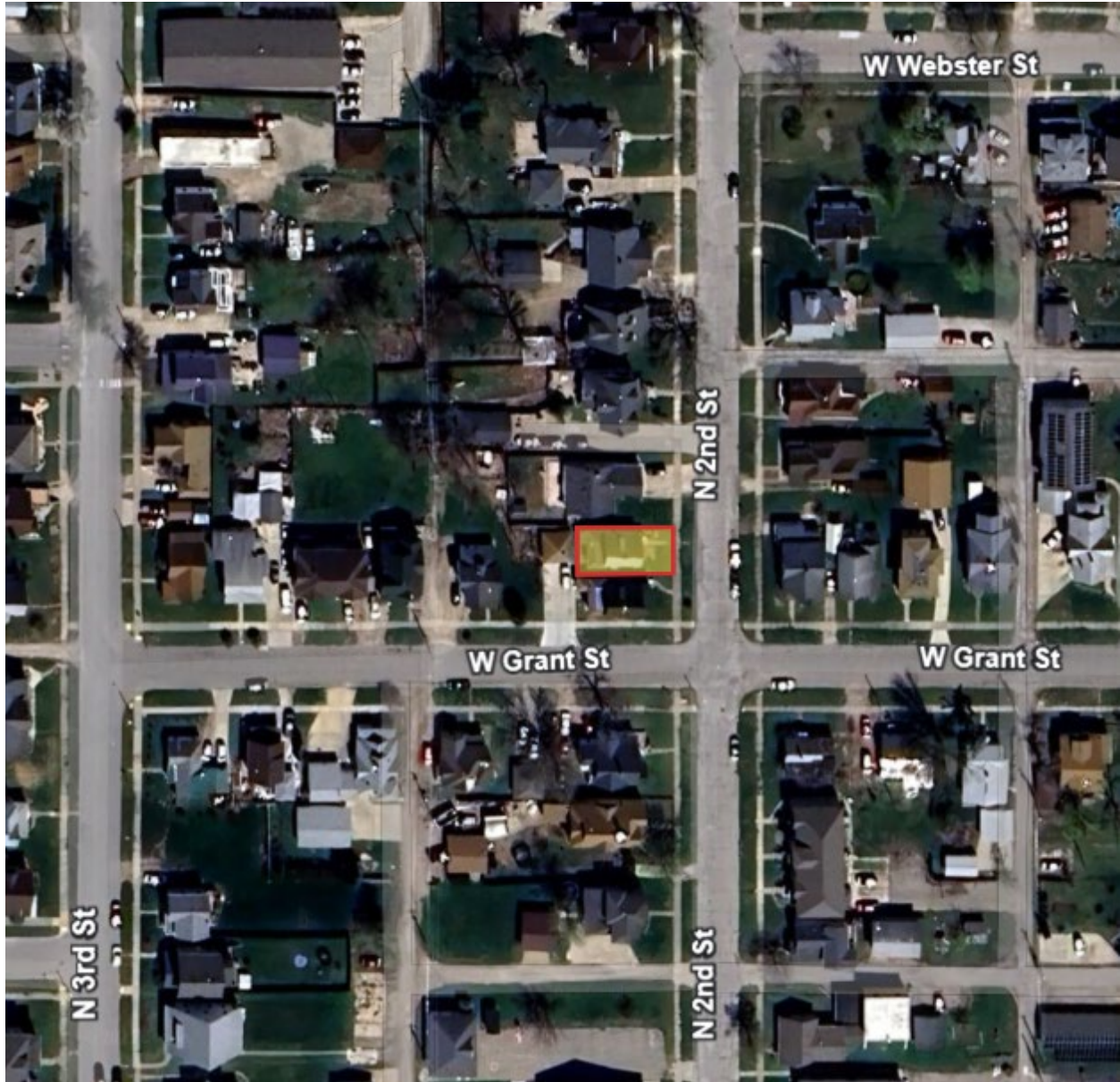
- Motion by \_\_\_\_\_ to APPROVE the request to allow for a driveway in the front yard which is in front of a dwelling, but not leading to a garage.

Second by \_\_\_\_\_

Vote results:

| Name:           | YES | NO | Abstain | Comment |
|-----------------|-----|----|---------|---------|
| <i>Engle</i>    |     |    |         |         |
| <i>Eaton</i>    |     |    |         |         |
| <i>Sanchez</i>  |     |    |         |         |
| <i>Schulze</i>  |     |    |         |         |
| <i>Thurston</i> |     |    |         |         |

# Aerial Vicinity Map



Date Submitted & Fee Paid: \_\_\_\_\_

Hearing Date: \_\_\_\_\_

# Variance Application Form

36 N. Center Street, Marshalltown, IA 50158 Ph: 641-754-5756 Fax: 641-754-5742  
www.marshalltown-ia.gov

**All items listed must be submitted with this application:**

Failure to complete and submit all the required materials as a part of this application will result in a delay in accepting your application until it is complete.

\_\_\_\_\_ **A site plan, drawn in ink and to scale, which clearly shows the variance being sought. This site plan shall not be larger than 11" X 17." And must include:**

- Dimensioned property lines indicating any easements;
- Location & identification of adjacent streets and alleys;
- Location and size of all existing and proposed buildings and structures (include distances to all property lines and distances between buildings and structures.);
- Dimensioned driveways and parking areas; and
- Any other pertinent information necessary to fully understand the need for a variance.

\_\_\_\_\_ **Site photographs** showing all views of the property, including any special features such as topography and existing and adjacent structures. **Please note:** Materials submitted with the application or presented as evidence during the public hearing will not be returned and must be kept as a part of the public record.

\_\_\_\_\_ **Completion of all of the following questions included in this application.**

\_\_\_\_\_ **Legal description of the property.** The property owner should have a copy of the legal description. If not, owners may obtain a copy of the recorded deed, which contains the legal description, from the Marshall County Recorder's Office for a fee.

\_\_\_\_\_ **Application fee.** A fee of **\$150 for owner-occupied residential properties** and a fee of **\$200 for any other property** is required payable to "City of Marshalltown." The fee must be paid when the application is submitted to the Housing Department.

Please type or print legibly in ink.

Property Address:

202 1/2 N 2nd St

Owner:

D&D Rentals

Mailing Address:

602 Elmwood Dr

Phone:

641.751.4597

Fax:

Email Address:

dmoellers@aol.com

Owner's Agent (if applicable):

Chellie Harvey

Agent Phone:

641.485.0131

Agent Fax:

---

All of the following questions must be answered. The board will use this information to review your request. Additional information may be attached if necessary. Contact the Housing & Community Development Director at 641-754-5756 with any questions.

---

**The applicant makes the following request:**

For a curb cut and single lane driveway on the south side of property.

**Please state your hardship.**

We have had instances with a neighbor to this property, who harasses our tenants by telling them that they can not park past the neighbors property line on the street. If the tenants do park past the property line the neighbor removes all vehicles from his driveway to box in the tenants making it impossible for them to move their autos until they knock on the neighbors door.

The MPD has been involved more than once.

**In order to grant a variance, the Board of Adjustment must make a finding of unnecessary hardship.** The hardship must be related to the physical aspects of the property and not a personal hardship. The granting of a variance should not merely serve as a convenience to the applicant. **To support a finding of unnecessary hardship, the board must find, based upon your evidence, that all of the following are met:**

1. **The land in question cannot yield a reasonable return if used only for a purpose allowed in the district.** State how you will lose all beneficial use and/or enjoyment of the property if the variance is not granted. You may include supporting evidence from a professional appraiser, real estate professional, or other professional. The Board may require documentation of loss of value in order to grant this variance.

We have had instances with a neighbor to this property, who harasses our tenants by telling them that they can not park past the neighbors property line on the street. If the tenants do park past the property line the neighbor removes all vehicles from his driveway to box in the tenants making it impossible for them to move their autos until they knock on the neighbors door. The MPD has been involved more than once.

2. **This variance is required because of the unique circumstances of this property and not the general conditions of the neighborhood.** The applicant must show that physical circumstances (such as an odd-shaped lot or difficult topography) on the property are unique to this property and unlike other properties in the vicinity. Also, the hardship should not be self-inflicted. It is a very narrow lot, there has never been a curb cut. We are asking to put a driveway on the south side of the property.

3. **The proposal will not alter the present character of the area or seriously affect any adjoining property.** The applicant must show that the proposal is compatible with the character of the surrounding area.

Every other property on this block has a driveway. We are just trying to alleviate tensions, by getting tenants cars off of the street.

4. **The variance will not be in contrary to the public interest.** The applicant must present information to indicate the variance will not impair an adequate supply of light and air to adjacent property, will not unreasonably increase the congestion in public streets or endanger public safety, nor will it devalue nearby property.

It will alleviate tensions in the neighborhood, by not having on street parking only for this house.

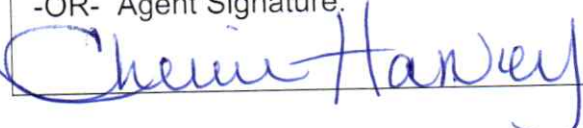
5. **The general intent and purpose of the Zoning Ordinance is protected.** A variance must be consistent with the intent of the Zoning Ordinance and the Comprehensive Plan. Is there another option which you could pursue that would not require a variance? If alternatives exist which do not require a variance, the proposal would not be consistent with the intent of the Zoning Ordinance and Comprehensive Plan.

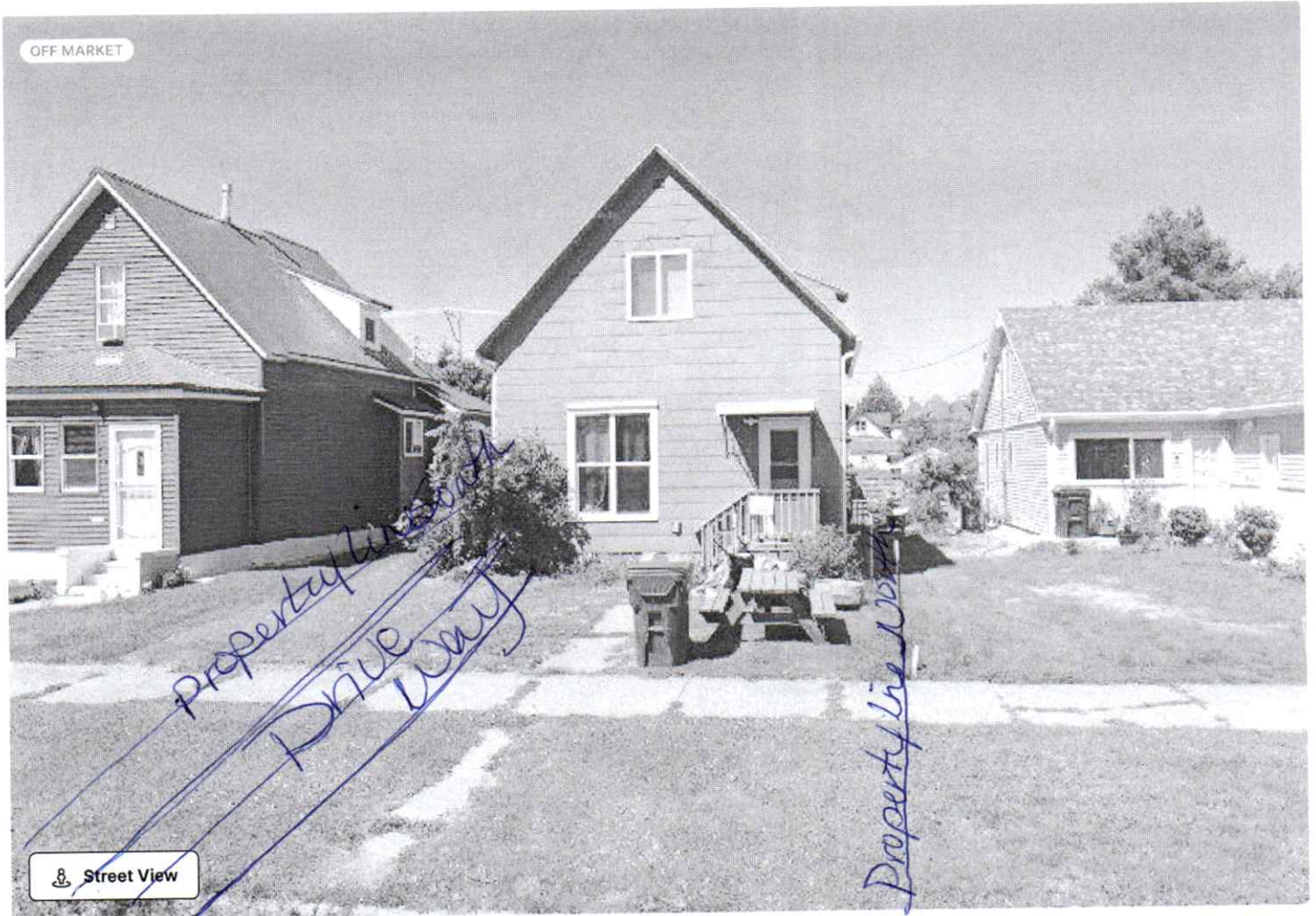
There are no other options .

**Additional Comments and Information:**

Attach additional information as necessary.

**As evidenced by the signature(s) below, I (we) certify that I (we) have been denied a building/zoning permit, that I (we) have submitted all the required information to appeal for a variance, and that said information is factual.**

|  |                  |
|--|------------------|
| Owner Signature:   | Date:            |
| -OR- Agent Signature:<br> | Date:<br>8/10/25 |



Proposed curb cut - 10ft wide  
Single width Drive way.

There is 18" or less on North side of  
house.

4 ft max on ~~side~~ south side of house  
There is 24 in to Property Line to the west  
in back of house

# MARSHALLTOWN

I O W A

HOUSING & COMMUNITY DEVELOPMENT

Deb Millizer, Director  
Clayton Ender, Assistant Director  
24 North Center Street  
Marshalltown, IA 50158-4911  
Tel - (641) 754-5756  
Fax - (641) 754-5717

**TO:** Board of Adjustment  
**FROM:** Clayton Ender, Assistant Housing & Community Development Director  
**DATE:** September 16<sup>th</sup>, 2025  
**RE:** Consider an Appeal of the Determination of Zoning Administrator regarding Residential Usage at 1408 E Main Street

|  |   |
|--|---|
| <b>City Staff Contact:</b>             | Clayton Ender, AICP<br>Assistant Director of Housing and Community Development<br>Phone: 641-754-5756<br>Email: cender@marshalltown-ia.gov  |
| <b>Property Owner &amp; Applicant:</b> | Lonnie E Hogeland<br>1408 E Main St<br>Marshalltown IA 50158  |
| <b>Recommendation:</b>                 | Staff recommends that the Board of Adjustment affirm the determination of the Zoning Administrator that residential usage is occurring upon the subject property in violation of the City of Marshalltown Zoning Ordinance.   |
| <b>Comprehensive Plan:</b>             | The subject property is identified in the comprehensive plan with a future land use designation of Heavy Industrial which is defined as, "Industrial related businesses including manufacturing, warehousing, automotive, trucking, rail, office, and other related industrial uses."<br><br>In the opinion of staff, usage of the property, in whole or in part, for residential usage is inconsistent with the adopted comprehensive plan for the city. |
| <b>Zoning District:</b>                | GI, General Industrial Zoning District  |

**CITY COUNCIL**

Melisa Fonseca, Barry Kell, Mike Ladehoff,  
Mark Mitchell, Greg Nichols, Jeff Schneider, Gary Thompson



**Review Criteria:**

In determining whether to reverse or affirm, wholly or partly, or modify the determination of the zoning administrator, the Board of Adjustment shall consider the following review criteria:

- 1. The administrative body has considered the recommendation of staff.**

Staff recommends that the Board of Adjustment affirm the determination of the Zoning Administrator that residential usage is occurring upon the subject property in violation of the City of Marshalltown Zoning Ordinance.

- 2. The request is consistent with applicable policies of the Comprehensive Plan and applicable utility plans and capital improvements plans; or, if it addresses a topic that is not contained or not fully developed in the Comprehensive Plan, the request does not impair the implementation of the Comprehensive Plan.**

In the opinion of staff, usage of the property, in whole or in part, for residential usage is inconsistent with the adopted comprehensive plan for the city.

- 3. The request promotes the purposes of this Zoning Ordinance as established in § 156.A.002, Purposes, and in other applicable purpose statements in this chapter.**

§ 156.A.002(D)(1) “Encouraging the most appropriate, efficient, and compatible use of land, buildings, and other structures throughout the city”

- 4. Adequate facilities, including public or private utilities, solid waste service, roads, drainage, and other improvements are present or are planned to be provided.**

The subject property has adequate access to existing public streets, water, sanitary sewer, storm sewer and other utilities.

**CITY COUNCIL**

Melisa Fonseca, Barry Kell, Mike Ladehoff,  
Mark Mitchell, Greg Nichols, Jeff Schneider, Gary Thompson



**5. The request demonstrates compatibility with surrounding conforming and permitted land uses and structures and with the general character of the area.**

Adjacent uses are industrial in nature. Residential usage is inconsistent with adjacent land uses.

**Attachments:** Findings of Fact Report  
Aerial Vicinity Map  
Appeal Application

**CITY COUNCIL**

Melisa Fonseca, Barry Kell, Mike Ladehoff,  
Mark Mitchell, Greg Nichols, Jeff Schneider, Gary Thompson



### Board of Adjustment Finding of Fact Report

|  |  |
|--|--|
| <b>Meeting Date:</b><br>September 16, 2025   | <b>Application Type:</b><br>Appeal Determination of Zoning Administrator |
| <b>Zoning District:</b><br>GI, General Industrial Zoning District                      | <b>Comprehensive Plan Designation:</b><br>Heavy Industrial               |
| <b>Property Address:</b><br>1408 E Main Street<br>Marshalltown IA 50158                |  |
| <b>Property Owner:</b><br>Lonnie E Hogeland<br>1408 E Main St<br>Marshalltown IA 50158 |  |

Request Description: The applicant is seeking the Board of Adjustment to reverse the determination of the zoning administrator regarding residential usage occurring at 1408 E Main Street in violation of the City of Marshalltown Zoning Ordinance.

Based on the Findings of Fact the following action occurred:

- Motion by \_\_\_\_\_ to AFFIRM IN WHOLE the determination of the zoning administrator regarding residential usage occurring at 1408 E Main Street in violation of the City of Marshalltown Zoning Ordinance.

Second by \_\_\_\_\_

Vote results:

| Name:           | YES | NO | Abstain | Comment |
|-----------------|-----|----|---------|---------|
| <i>Engle</i>    |     |    |         |         |
| <i>Eaton</i>    |     |    |         |         |
| <i>Sanchez</i>  |     |    |         |         |
| <i>Schulze</i>  |     |    |         |         |
| <i>Thurston</i> |     |    |         |         |

# Aerial Vicinity Map



Date Submitted & Fee Paid: \_\_\_\_\_

Hearing Date: \_\_\_\_\_

# Variance Application Form

36 N. Center Street, Marshalltown, IA 50158 Ph: 641-754-5756 Fax: 641-754-5742  
www.marshalltown-ia.gov

**All items listed must be submitted with this application:**

Failure to complete and submit all the required materials as a part of this application will result in a delay in accepting your application until it is complete.

- \_\_\_\_\_ **A site plan, drawn in ink and to scale, which clearly shows the variance being sought. This site plan shall not be larger than 11" X 17." And must include:**
  - Dimensioned property lines indicating any easements;
  - Location & identification of adjacent streets and alleys;
  - Location and size of all existing and proposed buildings and structures (include distances to all property lines and distances between buildings and structures.);
  - Dimensioned driveways and parking areas; and
  - Any other pertinent information necessary to fully understand the need for a variance.
- \_\_\_\_\_ **Site photographs** showing all views of the property, including any special features such as topography and existing and adjacent structures. **Please note:** Materials submitted with the application or presented as evidence during the public hearing will not be returned and must be kept as a part of the public record.
- \_\_\_\_\_ **Completion of all of the following questions included in this application.**
- \_\_\_\_\_ **Legal description of the property.** The property owner should have a copy of the legal description. If not, owners may obtain a copy of the recorded deed, which contains the legal description, from the Marshall County Recorder's Office for a fee.
- \_\_\_\_\_ **Application fee.** A fee of **\$150 for owner-occupied residential properties** and a fee of **\$200 for any other property** is required payable to "City of Marshalltown." The fee must be paid when the application is submitted to the Housing Department.

Please type or print legibly in ink.

|  |            |
|--|------------|
| Property Address:<br><b>1408 EAST MAIN STREET, MARSHALLOTOWN, IA 50158</b> |            |
| Owner:<br><b>HEBELEND AUTO PLAZA, LLC</b>                                  |            |
| Mailing Address:<br><b>1408 EAST MAIN ST, MARSHALLOTOWN, IA 50158</b>      |            |
| Phone:<br><b>641-752-0027</b>  | Fax:       |
| Email Address:<br><b>vanessa@hebelelandauto.com</b>                        |            |
| Owner's Agent (if applicable):   |            |
| Agent Phone:   | Agent Fax: |

---

All of the following questions must be answered. The board will use this information to review your request. Additional information may be attached if necessary. Contact the Housing & Community Development Director at 641-754-5756 with any questions.

---

The applicant makes the following request:

Please state your hardship.

In order to grant a variance, the Board of Adjustment must make a finding of unnecessary hardship. The hardship must be related to the physical aspects of the property and not a personal hardship. The granting of a variance should not merely serve as a convenience to the applicant. To support a finding of unnecessary hardship, the board must find, based upon your evidence, that all of the following are met:

1. The land in question cannot yield a reasonable return if used only for a purpose allowed in the district. State how you will lose all beneficial use and/or enjoyment of the property if the variance is not granted. You may include supporting evidence from a professional appraiser, real estate professional, or other professional. The Board may require documentation of loss of value in order to grant this variance.

PLEASE SEE ATTACHED

2. This variance is required because of the unique circumstances of this property and not the general conditions of the neighborhood. The applicant must show that physical circumstances (such as an odd-shaped lot or difficult topography) on the property are unique to this property and unlike other properties in the vicinity. Also, the hardship should not be self-inflicted.

PLEASE SEE ATTACHED

3. **The proposal will not alter the present character of the area or seriously affect any adjoining property.** The applicant must show that the proposal is compatible with the character of the surrounding area.

PLEASE SEE ATTACHED

4. **The variance will not be in contrary to the public interest.** The applicant must present information to indicate the variance will not impair an adequate supply of light and air to adjacent property, will not unreasonably increase the congestion in public streets or endanger public safety, nor will it devalue nearby property.

PLEASE SEE ATTACHED

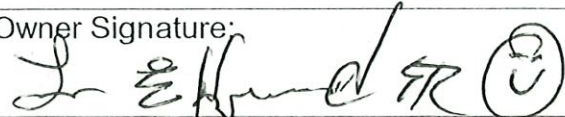
5. **The general intent and purpose of the Zoning Ordinance is protected.** A variance must be consistent with the intent of the Zoning Ordinance and the Comprehensive Plan. Is there another option which you could pursue that would not require a variance? If alternatives exist which do not require a variance, the proposal would not be consistent with the intent of the Zoning Ordinance and Comprehensive Plan.

PLEASE SEE ATTACHED

**Additional Comments and Information:**

Attach additional information as necessary.

As evidenced by the signature(s) below, I (we) certify that I (we) have been denied a building/zoning permit, that I (we) have submitted all the required information to appeal for a variance, and that said information is factual.

|   |                  |
|---|------------------|
| Owner Signature:<br> | Date:<br>8-22-25 |
| -OR- Agent Signature:   | Date:            |

TO: Marshalltown Board of Adjustment

FROM: Lonnie Hogeland

I am making the request to be permitted to reside above my business at 1408 East Main Street, Marshalltown, Iowa . It is my business named Hogeland Auto Plaza. For the reasons cited in my application, I am asking that a variance be granted for this purpose.

1. I do not think this necessarily applies. I only want to be able to reside on the property as described below.

2. The circumstances here are unique because I offer a 24/7/365 service to the community in my towing business. I reiterate that until only a few years ago, a home was adjacent to the office and salvage yard where my father lived and I grew up. I razed the home to expand and offer more services to the community. In the new construction I added an area which was approved by the city building inspector and fire department as a "break area." It includes all the necessary rooms for one to live, if necessary.

Since the expansion of my business, I find myself working more hours than ever and consequently, I am at the location of my business almost around the clock. Thus, I find myself utilizing the area as my domicile where I sleep, eat and rest. I do not maintain a second residence, because of the amount of time I work. My employees continue to utilize this area as a break area and it is available to them when then work, also around the clock.

This area does not affect any of the aesthetics or usefulness of the property. It is simply an upstairs area that is akin to an apartment above a business in a downtown area. You cannot tell from looking at the business that it even exists. This area allows me to continue to run my business at its highest and best intended use in the area as zoned. I am not asking to build a home or some other variance from the industrial use. I only want to be able to live there in the area designated as break area and continue to grow my business.

3. Please see above. However, I will reiterate this requested use is only for an area in the upstairs of my building above the shop/garage area. A person would not know it unless they were told it was there and were allowed in the premises. In all other respects, the property maintains the appearance of Hogeland Auto Plaza and its compliance with present zoning requirements.

4. There is absolutely no way this variance is contrary to the public interest. Once again, this variance is only for a small area within the building. It will not increase traffic or endanger public safety. In fact, it may help public safety as I can more readily and quickly respond to calls which are often made by law enforcement to remove vehicles that have left the roadway or been in accidents, etc.

5. Nothing about my proposed variance frustrates or does not protect the present zoning ordinance. I am not requesting to build a home in the middle of an industrial area. I am only requesting that I receive a variance to be allowed to reside in an "apartment-like" area above my business. Without a variance I would have to purchase or rent a residence where I would spend very little time. This proposal does not impinge on anyone's use of any property and is common sense use for myself and my business.

## Addendum

1. Beginning at a point 36 rods West of the Southeast Corner of Section 25, Township 84 North, Range 18 West of the 5th P. M., Marshall County, Iowa and running thence North 80 rods, thence West 14 rods, thence South 80 rods, thence East 14 rods to place of beginning, EXCEPT Beginning at the Northwest Corner of the Southeast Quarter of the Southeast Quarter of 25-84-18, thence East along the North line of said Southeast Quarter of the Southeast Quarter 495 feet; thence continuing East along said Line 231 feet; thence South 350 feet; thence West 85 feet along a line parallel to the North line of the Southeast Quarter of the Southeast Quarter of said Section 25 and 350 feet distant therefrom, thence South 58°41' West 170.9 feet; thence North 438.8 feet to the point of beginning, containing 2.0 acres, more or less, and EXCEPT the South 50 feet thereof;

AND

The West 131 feet of the West 8 acres of the East 18 acres of The Southeast Quarter of the Southeast Quarter of Section 25, Township 84 North, Range 18 West of the 5th P. M., Marshall County, Iowa EXCEPT The North 350 feet thereof and EXCEPT The South 50 feet thereof. Locally known as 1406-1408 East Main Street, Marshalltown, Iowa.

AND

Parcel "G" located in the Southeast Quarter of the Southeast Quarter of Section 29 and the Southwest Quarter of the Southwest Quarter of Section 28, all in Township 84 North, Range 17 West of the 5th P. M., Marshall County, Iowa as shown in Retracement Plat of Survey filed February 14, 2014, dated February 13, 2014 and recorded as Instrument No. 2014-00000679, Office of the Recorder of Marshall County, Iowa, Except Parcels "E", "H" and "J" that lies within said Parcel "G"; AND That part of Lot 4 of the Auditor's Subdivision of the Southwest Quarter of the Southwest Quarter of Section 28, Township 84 North, Range 17 West of the 5th P. M., Marshall County, Iowa lying South and East of said Parcel G, excluding therefrom the abandoned Chicago Great Western railroad right of way.

AND

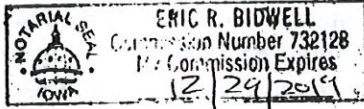
That part of Lot 2 of the Southwest Quarter of the Southwest Quarter of Section 28, Township 84 North, Range 17 West of the 5th P. M., Marshall County, Iowa lying North of said Parcel G.

Subject to all mortgages of record.

This deed is exempt pursuant to Iowa Code 428A.2(20).

**ACKNOWLEDGMENT FOR INDIVIDUALS**

STATE OF IOWA, COUNTY OF MARSHALL  
This record was acknowledged before me this 24<sup>th</sup> day of May, 20 17,  
by Lonnie E. Hogeland  
as Executor  
of LYLE E. HOGELAND ESTATE



[Signature]  
Signature of Notary Public

STATE OF \_\_\_\_\_, COUNTY OF \_\_\_\_\_  
This record was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_,  
by \_\_\_\_\_  
as \_\_\_\_\_  
of \_\_\_\_\_

\_\_\_\_\_  
Signature of Notary Public

**ACKNOWLEDGMENT FOR CORPORATIONS**

STATE OF \_\_\_\_\_, COUNTY OF \_\_\_\_\_  
This record was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_,  
by \_\_\_\_\_  
as \_\_\_\_\_  
of \_\_\_\_\_  
on behalf of said corporation as fiduciary

\_\_\_\_\_  
Signature of Notary Public

STATE OF \_\_\_\_\_, COUNTY OF \_\_\_\_\_  
This record was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_,  
by \_\_\_\_\_  
as \_\_\_\_\_  
of \_\_\_\_\_  
on behalf of said corporation as fiduciary

\_\_\_\_\_  
Signature of Notary Public



### COURT OFFICER DEED

IN THE MATTER OF  
THE ESTATE OF  
LYLE E. HOGELAND, deceased.

now pending in the Iowa District Court in and for MARSHALL County.

PROBATE No. ESPR008099


Pursuant to the authority and power vested in the undersigned, and in consideration of ONE Dollar(s) and other valuable consideration, the undersigned, in the representative capacity designated below, hereby Convey(s) to Lonnie E. Hogeland, a single person

the following described real estate in Marshall County, Iowa:  
See 1 in Addendum

Words and phrases herein, including acknowledgement hereof, shall be construed as in the singular or plural number, and as masculine, feminine or neuter gender, according to the context.

Dated: May 24, 2017

By Executor \_\_\_\_\_  
Title

  
\_\_\_\_\_  
Lonnie E. Hogeland

By \_\_\_\_\_  
Title

As \_\_\_\_\_ \*in the  
above entitled estate or cause.

As Executor \_\_\_\_\_ \*in the  
above entitled estate or cause.

\*Executor, Administrator, Guardian, Conservator, Trustee, Referee, Commissioner, or Receiver



Recorded: 05/25/2017 at 11:35:53 AM  
Amt: \$37.00 Page 1 of 4

Revenue Tax:

Marshall County Iowa

Jeanne Raymond County Recorder

File **2017-00002735**



**COURT OFFICER DEED**  
THE IOWA STATE BAR ASSOCIATION  
Official Form No. P201  
**Recorder's Cover Sheet**

**Preparer Information:** (Name, address and phone number)

Eric R. Bidwell, 106A South 1st Avenue, Marshalltown, IA 50158, Phone: (641) 753-3648

**Taxpayer Information:** (Name and complete address)

Lonnie E. Hogeland, 1408 East Main Street, Marshalltown, IA 50158

**Return Document To:** (Name and complete address)

Eric R. Bidwell, 106A South 1st Avenue, Marshalltown, IA 50158

**Grantors:**

Lonnie E. Hogeland, Executor  
Lyle E. Hogeland Estate

**Grantees:**

Lonnie E. Hogeland

**Legal description:** See Page 2

**Document or instrument number of previously recorded documents:**

APPLICATION FOR DEMOLITION PERMIT

CITY OF MARSHALLTOWN BUILDING DEPARTMENT

DEMOLITION DEBRIS MUST BE DEPOSITED AT AN APPROVED LANDFILL

Owner of Property: Lonnie Hogeland

Address of Owner: 1406 East Main Street

Demolition Site: 1408 East Main Street

Description of Structure: Wood Frame Building (#2)

Demolition Contractor: Con-Struct Inc.

Demolition Contractor's Address: 1710 East Main Street

\*Is the Demolition Site to be used for a parking lot after Demolition? NO If yes, the Zoning Administrator should be contacted for Approval prior to Demolition Permit Issuance.

Utilities Disconnected By: Gas/Electric: N/A

\*Sewer laterals shall be abandoned at the property line by a Licensed Plumber, with the abandonment inspected by the City of Marshalltown Sewer Department.

\*\*Plumber: N/A

\*The Marshalltown Water Works must be notified prior to Demolition for removal of water meter and water service shall be abandoned by a Licensed Plumber and inspected by a Water Works Inspector.

\*\*Plumber: N/A

Date Demolition Project Will Start: November 21, 2000

Date Demolition Project Will Be Completed: December 21, 2000

Protective Devices: For the safety of the general public, the area of Demolition work must be posted and enclosed with a fence or other means and kept in good order for the entire length of time of the demolition work.

If at any time during Demolition period a serious or dangerous condition exists and is not abated, the City may remove the dangerous condition and charge the cost of such work to the property owner.

Signature Owner/Contractor: X Con-Struct, Inc. By: SH

Liability Insurance Carrier: Koehler Insurance

Permit Number: 21095 Date Issued: November 20, 2000

Building Official: Scott A. Remond

\*Note: all information on this application shall be considered as part of the permit at the time of issuance.

SPECIAL USE PERMIT

Board of Adjustment  
c/o Municipal Building  
Marshalltown, Iowa 50158

Pursuant to the Marshalltown Zoning Ordinance, Article XVI, a Special Use Permit is hereby granted as follows:

1. To the following people: Lyle Hogeland

2. Concerning the following described property (both legal description and local address): 1406 East Main Street, Marshalltown, Iowa 50158

The East 7 acres of the West 22 acres of the Southeast Quarter of the Southeast Quarter of Section 25, Township 84 North, Range 18 West of the 5th P.M., Marshall County, Iowa, except beginning 495 feet East of the Northwest corner, thence East 231 feet, South 350 feet, West 85 feet, Southwest 170.9 feet, North 438.8 feet, to the point of beginning, and except the South 50 feet of the East 7 acres of the West 22 acres.

3. Nature of Special Use allowed: salvage yard

4. Protective restrictions: Lyle Hogeland is issued a Special Use Permit to operate a salvage yard located at 1406 East Main Street for a four year term and with the same restrictions as the previous permit and must be in full compliance with all City and State regulations

Those to whom this Special Use Permit is granted shall comply with all ordinances and statutes, either federal or state, which shall include but not be limited to those relative to fire protection, electrical installation, signs on the premises, and sanitation.

This Special Use Permit does not run with the land, and therefore, purchasers, lessees, or others using the above-described property shall not have any rights or powers under this Special Use Permit without further action of the Board of Adjustment.

Furthermore, those to whom this Special Use Permit is issued shall not extend or further alter the use of the property described above beyond the plans filed with the

APPLICATION FOR DEMOLITION PERMIT

CITY OF MARSHALLTOWN BUILDING DEPARTMENT

DEMOLITION DEBRIS MUST BE DEPOSITED AT AN APPROVED LANDFILL

Owner of Property: Lonnie Hogeland

Address of Owner: 1408 East Main Street

Demolition Site: 1408 East Main Street

Description of Structure: Wood Frame Building

Demolition Contractor: Con-Struct Inc.

Demolition Contractor's Address: 1710 East Main Street

\*Is the Demolition Site to be used for a parking lot after Demolition? No If yes, the Zoning Administrator should be contacted for Approval prior to Demolition Permit Issuance.

Utilities Disconnected By: Gas/Electric: N/A

\*Sewer laterals shall be abandoned at the property line by a Licensed Plumber, with the abandonment inspected by the City of Marshalltown Sewer Department.

\*\*Plumber: N/A

\*The Marshalltown Water Works must be notified prior to Demolition for removal of water meter and water service shall be abandoned by a Licensed Plumber and inspected by a Water Works Inspector.

\*\*Plumber: N/A

Date Demolition Project Will Start: April 26, 2001

Date Demolition Project Will Be Completed: May 26, 2001

Protective Devices: For the safety of the general public, the area of Demolition work must be posted and enclosed with a fence or other means and kept in good order for the entire length of time of the demolition work.

If at any time during Demolition period a serious or dangerous condition exists and is not abated, the City may remove the dangerous condition and charge the cost of such work to the property owner.

Signature Owner/Contractor: Ken Johnson - Con-Struct, Inc

Liability Insurance Carrier: Koehler Insurance Co.

Permit Number: 21170 Date Issued: April 23, 2001

Building Official: Scott A. Pierson

\*Note: all information on this application shall be considered as part of the permit at the time of issuance.

APPLICATION FOR DEMOLITION PERMIT

CITY OF MARSHALLTOWN BUILDING DEPARTMENT

DEMOLITION DEBRIS MUST BE DEPOSITED AT AN APPROVED LANDFILL

Owner of Property: Lonnie Hogeland

Address of Owner: 1406 East Main Street

Demolition Site: 1408 East Main Street

Description of Structure: Wood Frame Building (#1)

Demolition Contractor: Con-Struct Inc.

Demolition Contractor's Address: 1710 East Main Street

\*Is the Demolition Site to be used for a parking lot after Demolition? No If yes, the Zoning Administrator should be contacted for Approval prior to Demolition Permit Issuance.

Utilities Disconnected By: Gas/Electric: N/A

\*Sewer laterals shall be abandoned at the property line by a Licensed Plumber, with the abandonment inspected by the City of Marshalltown Sewer Department.

\*\*Plumber: N/A

\*The Marshalltown Water Works must be notified prior to Demolition for removal of water meter and water service shall be abandoned by a Licensed Plumber and inspected by a Water Works Inspector.

\*\*Plumber: N/A

Date Demolition Project Will Start: November 21, 2000

Date Demolition Project Will Be Completed: December 21, 2000

Protective Devices: For the safety of the general public, the area of Demolition work must be posted and enclosed with a fence or other means and kept in good order for the entire length of time of the demolition work.

If at any time during Demolition period a serious or dangerous condition exists and is not abated, the City may remove the dangerous condition and charge the cost of such work to the property owner.

Signature Owner/Contractor: X Con-Struct Inc. By: SA

Liability Insurance Carrier: Koehler Insurance

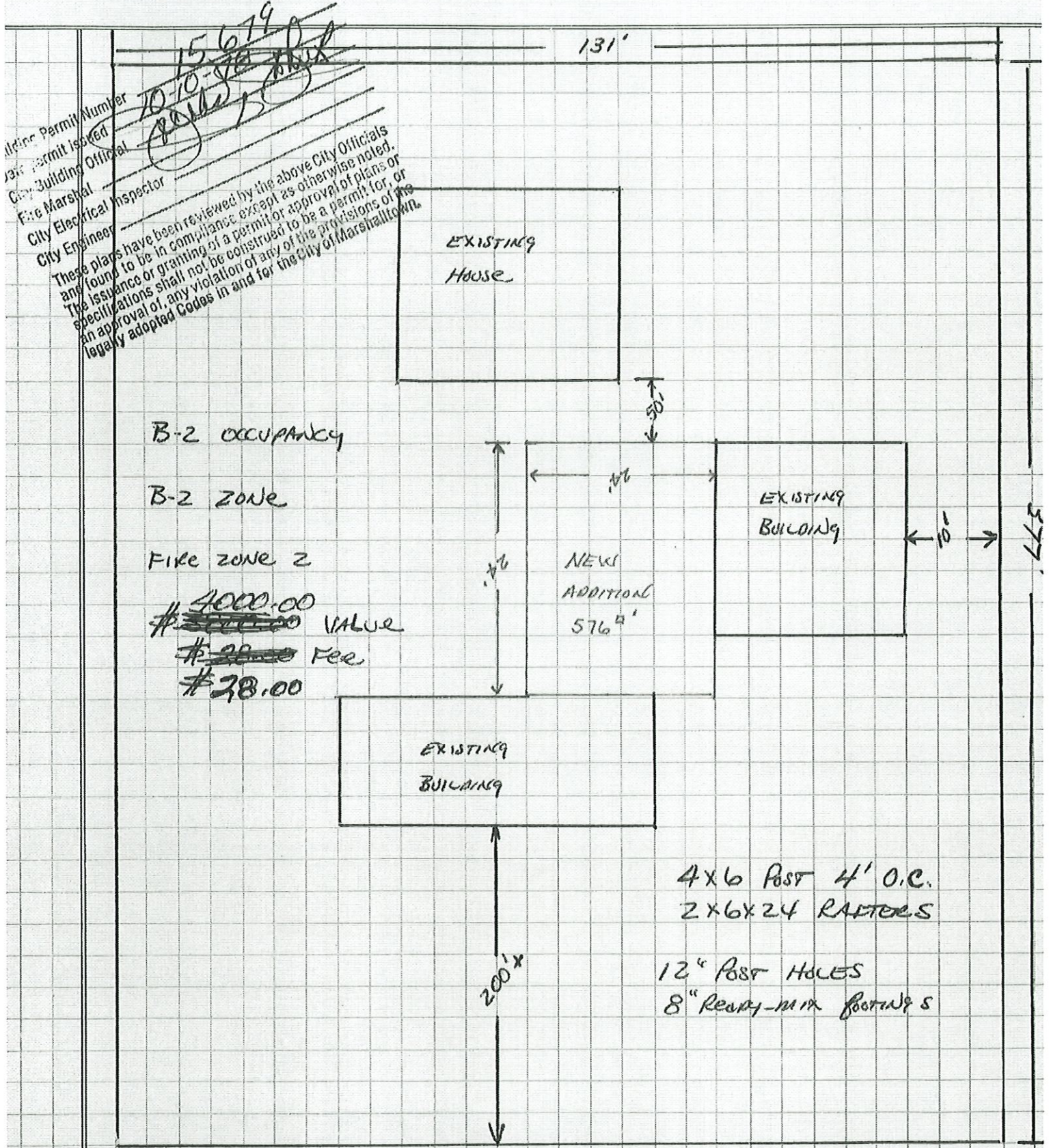
Permit Number: 21095 Date Issued: November 20, 2000

Building Official: Scott A. Remensnyder

\*Note: all information on this application shall be considered as part of the permit at the time of issuance.

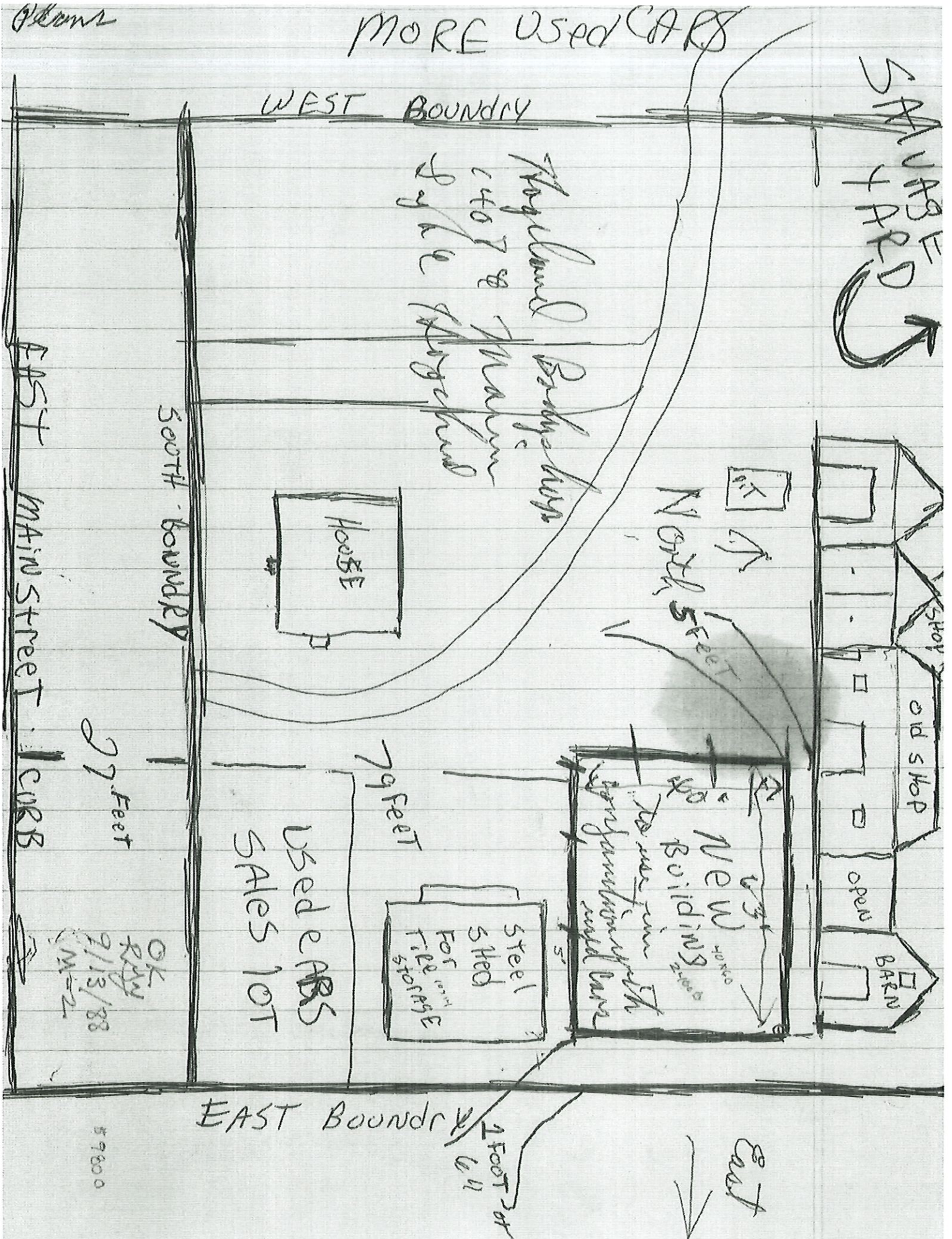
PROJECT LYLE HOGELAND  
1408 EAST MAIN ST.  
752-6878

DATE 10-9 1978



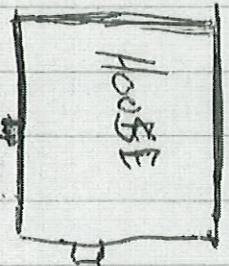
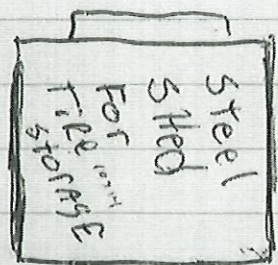
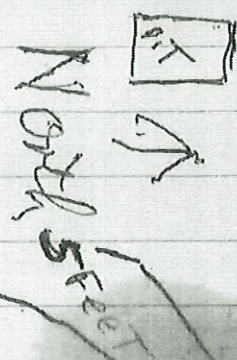
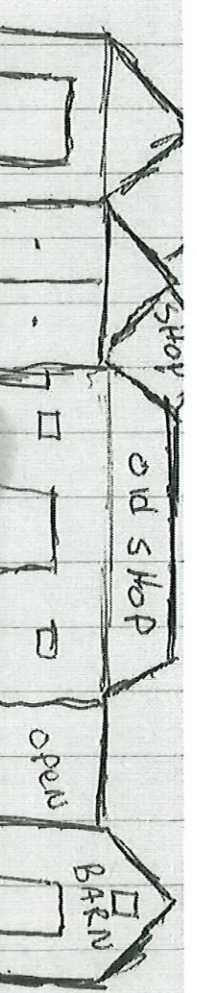
Plans

# MORE Used CARS



STAIRS

↑



Regalmond  
407 & Main  
Jyle Regalmond

EAST BOUNDARY





Lester Building Systems  
 A Division of Butler Manufacturing Company  
 P.O. Box 37 • Lester Prairie, MN 55354  
 Phone (612) 395-2531 • Fax (612) 395-2969

*Todd  
 1-800 735 4122*

DATE: 8-6-96  
 JOB # 87331

TO: K-VAN CONSTRUCTION CO. 96-87331  
 POB 666, NO. HWY. 65  
 IOWA FALLS IA 50126  
 40 X 40 X 12 UNI I -PKG  
 RE: 515-648-4122 HOGELAND, LONNIE

Enclosed is an advanced set of construction drawings for the wood framed building you recently ordered. Two additional sets will be sent with the building order when it is shipped.

Please review these drawings and give me a call if there are any questions.

Sincerely, *Neil Peterson*  
 Order Technician  
 Ext. 256

Lyle or Lonnie Hogeland  
**HOGELAND BODY SHOP & SALVAGE**  
*Used Cars & Trucks • Rebuildables • Body Shop • New & Used Parts*  
 24 Hr. Emergency Towing  
 Office 641-752-0027  
 WATS 866-752-0027  
 www.hogelandbody.com  
 Cell Phones  
 Lonnie 750-8854  
 Lyle 750-8856  
 Jack 750-8857  
 Brett 750-8855  
 1408 E. Main Street  
 Marshalltown, Iowa 50158  
 Fax 641-752-0002

*Lyle or Lonnie Hogeland*  
**HOGELAND BODY SHOP**  
*Used Cars • Rebuildables • Towing • Parts*  
 1408 E. MAIN STREET  
 MARSHALLTOWN, IOWA 50158  
 (515) 752-0027  
~~(515) 752-0002~~  
*Call 752-0027*

Anderson Elect.

1408 E MAIN ST

1408 E Main St.

1-25

Lyle Hogeland

8-3-83

Remove portable lamp cord Bond neutral  
use 20A fuse station main panel add grd rod  
retighten all fittings change polarity on old  
receptacles

8-18-83

OK

3045

Anderson Elec.

1408 E Main

Lyle Hogeland

sent letter on May  
17-83. after the Dept  
made complaint of wiring  
sent certified letter  
July 5 after nothing was  
done. Contacted Anderson  
because it was reported  
he had been there. 001

#3045

Called Anderson 7-21-83. He  
is to do the work,

 **MENARD  
BUILDINGS** 6765 Hwy. 14 East  
Rochester, MN. 55901

**RANDY ROHACH**  
**SALES REPRESENTATIVE**  
Office:(507)288-3275 Home:(319)345-2678

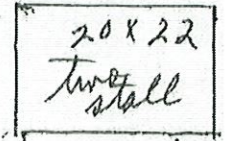
★ COMMERCIAL ★ FARM ★ RESIDENTIAL

Hogland Property  
1408 E main

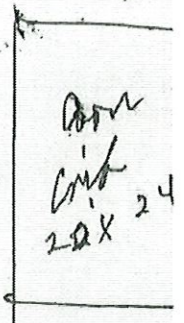
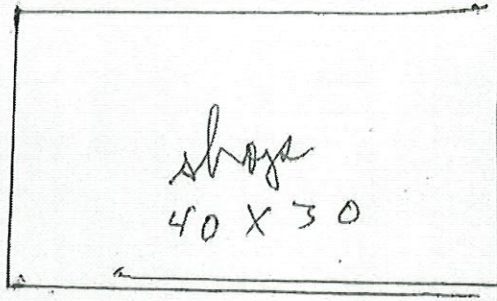
~~2509~~

Proposed location  
of moved in Bldg.  
purchased from  
city

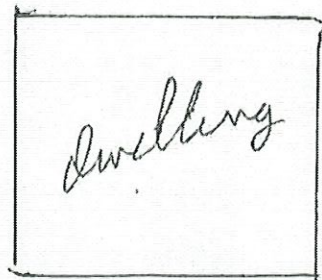
#  
12627



20' ↑  
↓



1300' Long



131'

E. main St

NORTH  
↑

Street East Main Street House No. 1408

DEPARTMENT OF INSPECTION, CITY OF MARSHALLTOWN

Application For Building Permit and Certificate of Occupancy

Permit No. 21590 Date of Application August 20, 2002

The undersigned hereby makes application to alter a building on:

Lot \_\_\_\_\_ Block \_\_\_\_\_ Addition \_\_\_\_\_  
 Owner of Lot Lonnie Hogeland  
 Address of Owner 1408 East Main Street  
 Contractor Owner  
 Address of Contractor Same  
 Architect \_\_\_\_\_ None  
 Intended use of building Group B Occupancy  
 No. of Families provided for after alteration -0-  
 Bldg. dimensions after alteration see plan  
 Dimensions of Addition 24'x30'  
 Lot Dimensions see plat Lot Area \_\_\_\_\_  
 Zone M-2 Front Yard \_\_\_\_\_ Rear Yard same  
 Side Yard: Left 110' Right 0' w/firewall  
 Within Fire Limits: Yes X No \_\_\_\_\_  
 Construction Materials for Alteration: Type V-N  
 Foundation 8"x42" w/2#4 rebar-  
 Exterior Walls 2x4x16" oc/OSB/5/8" gypsum both  
 Interior Walls 2x4x16" oc sides \_\_\_\_\_  
 1st Floor Joists slab 2nd Floor Joists -0-  
 Ceiling Joists truss Roof Rafters trusses  
 Height of Building one story  
 Ceiling Height 8' Basement \_\_\_\_\_ 1st Floor \_\_\_\_\_  
 After Alteration: 2nd Floor \_\_\_\_\_ 3rd Floor \_\_\_\_\_  
 No. of Toilets Total -0-  
 Type of Ventilation mechanical  
 Valuation: \$18,000.00 Fee: \$293.00

This application and any permit that may be granted in response thereto are subject to all laws of the State of Iowa and all ordinances of the City of Marshalltown, Iowa that may have a bearing on the same.

The Applicant, Lonnie Hogeland, being duly sworn, deposes and says that he is the owner; or that he is authorized and empowered to make affidavit for the owner, who makes the accompanying application; that the application, plat, plans, and specifications are true and contain a correct description of the proposed building, building construction, lot, and use to which building is to be placed.

Application is herewith made by [Signature] (Owner or Representative)

Subject to deed restrictions.  
Subject to all Government regulations.  
Examined and approved 22 day of August, 20 02  
[Signature]  
Building Official

Sketch plot plan on reverse side.

Street E. Main Street House No. 1403

DEPARTMENT OF INSPECTION, CITY OF MARSHALLTOWN

Application For Building Permit and Certificate of Occupancy

Permit No. 17714 Date of Application Nov 21, 1938

The undersigned hereby makes application to erect a building on:

Lot \_\_\_\_\_ Block \_\_\_\_\_ Addition \_\_\_\_\_

Owner of Lot \_\_\_\_\_

Address of Owner \_\_\_\_\_

Contractor \_\_\_\_\_

Address of Contractor \_\_\_\_\_

Architect \_\_\_\_\_

Intended use of building \_\_\_\_\_

No. of Families provided for in bldg. \_\_\_\_\_

Bldg. Dimensions \_\_\_\_\_

Lot Dimensions \_\_\_\_\_ Lot Area \_\_\_\_\_

Zone \_\_\_\_\_

Front Yard \_\_\_\_\_ Rear Yard \_\_\_\_\_

Side Yard: Left \_\_\_\_\_ Right \_\_\_\_\_

Within Fire Limits: Yes \_\_\_\_\_ No \_\_\_\_\_

Construction Materials:

Foundation \_\_\_\_\_

Exterior Walls \_\_\_\_\_

1st Floor Joists \_\_\_\_\_ 2nd Floor Joists \_\_\_\_\_

Ceiling Joists \_\_\_\_\_ Roof Rafters \_\_\_\_\_

Height of Building \_\_\_\_\_

Ceiling Height: Basement \_\_\_\_\_ 1st Floor \_\_\_\_\_

2nd Floor \_\_\_\_\_ Roof Rafters \_\_\_\_\_

Number of Rooms: \_\_\_\_\_

Basement \_\_\_\_\_ 1st Floor \_\_\_\_\_

2nd Floor \_\_\_\_\_ Attic \_\_\_\_\_

No. of Toilets \_\_\_\_\_

Type of Ventilation \_\_\_\_\_

Valuation: \_\_\_\_\_ Fee: \_\_\_\_\_

This application and any permit that may be granted in response thereto are subject to all the laws of the State of Iowa and all ordinances of the City of Marshalltown, Iowa, that may have a bearing on the same.

The Applicant, W. B. Heston, being duly sworn, deposes and says that he is the owner; or that he is authorized and empowered to make affidavit for the owner, who makes the accompanying application; that the application, plat, plans and specifications are true and contain a correct description of the proposed building, building construction, lot, and use to which building is to be placed.

Application is herewith made by W. B. Heston  
(Owner or Representative)

Subject to deed restrictions.  
Subject to all Government regulations.

Examined and approved \_\_\_\_\_ day of November, 19 1938

\_\_\_\_\_  
Building Inspector

Sketch plot plan on reverse side.

Street East Main Street House No. 1408

DEPARTMENT OF INSPECTION, CITY OF MARSHALLTOWN  
Application For Building Permit and Certificate of Occupancy

Permit No. 20959 Date of Application June 2000

The undersigned hereby makes application to erect a building on:

Lot \_\_\_\_\_ Block \_\_\_\_\_ Addition \_\_\_\_\_  
Owner of Lot Lonnie Hogeland  
Address of Owner 1408 East Main Street  
Contractor K-Van Construction Co. Inc. IA#54226-99  
Address of Contractor P.O. BOX 666 Iowa Falls, Iowa  
Architect Kevin Gerard Conroy P.E. IA# 11613  
Intended use of building Group S-1  
No. of Families provided for in bldg. -0-0-  
Bldg. dimensions 48'x80'  
Lot Dimensions see plat Lot Area \_\_\_\_\_  
Zone M-2  
Front Yard 360' Rear Yard 921'  
Side Yard: Left see plat Right 0' - on property line  
Within Fire Limits: Yes X No \_\_\_\_\_  
Construction Materials:  
Foundation 18" & 22"x48" piers  
Exterior Walls one hour wall east wall w/ 5/8"  
1st Floor Joists gyp. 2nd Floor Joists -0-  
Ceiling Joists -0- Roof Rafters trusses  
Height of Building one story  
Ceiling Height: Basement -0- 1st Floor see plan  
2nd Floor -0- Roof Rafters -0-  
Number of Rooms: -0-  
Basement \_\_\_\_\_ 1st Floor \_\_\_\_\_  
2nd Floor \_\_\_\_\_ Attic \_\_\_\_\_  
No. of Toilets none  
Type of Ventilation mechanical  
Valuation: \$46,000.00 Fee: \$602.00

This application and any permit that may be granted in response thereto are subject to all laws of the State of Iowa and all ordinances of the City of Marshalltown, Iowa that may have a bearing on the same.

The Applicant, Lonnie Hogeland, being duly sworn, deposes and says that he is the owner; or that he is authorized and empowered to make affidavit for the owner, who makes the accompanying application; that the application, plat, plans, and specifications are true and contain a correct description of the proposed building, building construction, lot, and use to which building is to be placed.

Application is herewith made by [Signature]  
(Owner or Representative)

Subject to deed restrictions.

Subject to all Government regulations.

Examined and approved 20 day of JUNE, 2000

[Signature]  
Building Official

Sketch plot plan on reverse side.

Street East Main Street House No. 1408

DEPARTMENT OF INSPECTION, CITY OF MARSHALLTOWN

Application For Building Permit and Certificate of Occupancy

Permit No. 19928 Date of Application August, 1996

The undersigned hereby makes application to alter a building on:

Lot \_\_\_\_\_ Block \_\_\_\_\_ Addition \_\_\_\_\_

Owner of Lot Hogeland Body Shop

Address of Owner 1408 East Main Street

Contractor K-Van Construction IA #02192-89

Address of Contractor Iowa Falls

Architect Kevin Gerard Conroy P.E. IA #11813

Intended use of building Group B

No. of Families provided for after alteration -0-

Bldg. dimensions after alteration 40' x 100'

Dimensions of Addition 40' x 40'

Lot Dimensions see plat Lot Area \_\_\_\_\_

Zone M-2 Front Yard 60' Rear Yard see plat

Side Yard: Left 12' Right same

Within Fire Limits: Yes  No \_\_\_\_\_

Construction Materials for Alteration: Type V-N

Foundation 16" x 23" x 4' piers

Exterior Walls see plan

Interior Walls -0-

1st Floor Joists slab 2nd Floor Joists -0-

Ceiling Joists \_\_\_\_\_ Roof Rafters trusses

Height of Building one story

Ceiling Height: 7'6" Basement -0- 1st Floor 7'6" Min

After Alteration: 2nd Floor -0- 3rd Floor -0-

No. of Toilets Total -0-

Type of Ventilation mechanical

Valuation: \$20,000.00 Fee: \$240.00

This application and any permit that may be granted in response thereto are subject to all laws of the State of Iowa and all ordinances of the City of Marshalltown, Iowa that may have a bearing on the same.

The Applicant, Todd Fisher, being duly sworn, deposes and says that he is the owner; or that he is authorized and empowered to make affidavit for the owner, who makes the accompanying application; that the application, plat, plans, and specifications are true and contain a correct description of the proposed building, building construction, lot, and use to which building is to be placed.

Application is herewith made by [Signature]  
(Owner or Representative)

Subject to deed restrictions.  
Subject to all Government regulations.  
Examined and approved 15 day of August, 19 96  
[Signature]  
Building Inspector

Sketch plot plan on reverse side.

Building moved in from 211 S. 12th. Ave.

Council permit

Street E. Main St. House No. 1408

DEPARTMENT OF INSPECTION, CITY OF MARSHALLTOWN

Application For Building Permit and Certificate of Occupancy  
for Minor Building

Permit No. 12627 Date of Application Dec. 2, 19

The undersigned hereby makes application to erect a building on:

Lot \_\_\_\_\_ Block \_\_\_\_\_ Addition \_\_\_\_\_

Owner of Lot Lyle Hogland

Address of Owner 1408 E. MAIN ST.

Contractor Lyle Hogland

Address of Contractor 1408 E. Main St.

Architect None

Intended use of building Group J\*1

Bldg. Dimensions 20' X 22'

Lot Dimensions 131' X 1300' Lot Area \_\_\_\_\_

Zone M-2

Distance to Dwelling 60' plus

Distance to Rear Lot Line 100' plus

Distance to Nearest Side Lot Line 3'

Within Fire Limits: Yes  No  2

Construction Type V.

Height of Bldg. 12'

Valuation: \$ 700.00 Fee: \$ 4.00

This application and any permit that may be granted in response thereto are subject to all the laws of the State of Iowa and all ordinances of the City of Marshalltown, Iowa, that may have a bearing on the same.

The Applicant, Lyle Hogland, being duly sworn, deposes and says that he is the owner; or that he is authorized and empowered to make affidavit for the owner, who makes the accompanying application; that the application, plat, plans and specifications are true and contain a correct description of the proposed building, building construction, lot, and use to which building is to be placed.

Application is herewith made by Lyle Hogland  
(Owner or Representative)

Subject to deed restrictions.

Subject to all Government regulations.

Examined and approved 2 day of Dec., 19 6

Earl T. Holland  
Building Inspector

Sketch plot plan on reverse side.

Street East Main Street House No. 1408

DEPARTMENT OF INSPECTION, CITY OF MARSHALLTOWN

Application for Building Permit and Certificate of Occupancy

Permit No. 15679 Date of Application Oct. 10, 1978

The undersigned hereby makes application to alter a building on  
 Lot \_\_\_\_\_ Block \_\_\_\_\_ Addition \_\_\_\_\_  
 Owner of Lot Lyle Rogeland  
 Address of Owner 1408 East Main Street  
 Contractor Same  
 Address of Contractor Same  
 Architect None  
 Intended use of building Group B-2  
 No. of families provided for after alteration None  
 Bldg. dimensions after alteration \_\_\_\_\_  
 Dimensions of Addition 24'x24'  
 Lot Dimensions 131'x377' Lot Area \_\_\_\_\_  
 Zone B-2 Front Yard 50' to rear Same Rear Yard 200'+  
 Side Yard: Left 10' Right Same  
 Within Fire Limits Yes Yes No No  
 Construction Materials for Alteration: type v-n  
 Foundation 12" Post holes w/6" ready-mix pads  
 Exterior Walls 4x6 post 4' o.c.  
 Interior Walls \_\_\_\_\_  
 1st Floor Joists 2x8 2nd Floor Joists 2x8  
 Ceiling Joists 2x6x24 Roof Rafters 2x6x24  
 Height of Building One Story  
 Ceiling Height \_\_\_\_\_ Basement 0- 1st Floor 8'  
 After Alteration: 2nd Floor \_\_\_\_\_ 3rd Floor 0-  
 No. of Toilets Total: 0-  
 Type of Ventilation Nat.  
 Valuation 34,000.00 Fee 328.00

This application and any permit that may be granted in response thereto are subject to all the laws of the State of Iowa and all ordinances of the City of Marshalltown, Iowa, that may have a bearing on the same.

The Applicant, Lyle Rogeland, being duly sworn deposes and says that he is the owner; or that he is authorized and empowered to make affidavit for the owner, who makes the accompanying application; that the application, plat, plans and specifications are true and contain a correct description of the proposed building, building construction, lot, and use to which building is to be placed.

Application is herewith made by Lyle Rogeland  
(Owner or Representative)

Subject to deed restrictions.  
Subject to all Government regulations.  
Examined and approved 10 day of Oct., 19 78  
Shirley Seese  
Building Inspector

Sketch plot plan on reverse side.

Street East Main Street House No. 1408

DEPARTMENT OF INSPECTION, CITY OF MARSHALLTOWN

Application For Building Permit and Certificate of Occupancy

Permit No. 21968 Date of Application December 16, 2003

The undersigned hereby makes application to alter a building on:

Lot \_\_\_\_\_ Block \_\_\_\_\_ Addition \_\_\_\_\_

Owner of Lot Lonnie Hogeland

Address of Owner 1408 East Main Street

Contractor K-Van Construction IA#81401-03

Address of Contractor P.O. BOX 666 Iowa Falls 50126

Architect John Dierauer P.E. IA# 9632

Intended use of building Group S-1 Occupancy

No. of Families provided for after alteration -0-

Bldg. dimensions after alteration see plan

Dimensions of Addition 18' x 20'

Lot Dimensions see plat Lot Area \_\_\_\_\_

Zone M-2 Front Yard see plat Rear Yard see plat

Side Yard: Left see plat Right see plat

Within Fire Limits: Yes X No \_\_\_\_\_

Construction Materials for Alteration: Type V-N

Foundation 18' x 36" piers/poured 8" pad

Exterior Walls Steel

Interior Walls -0-

1st Floor Joists -0- 2nd Floor Joists -0-

Ceiling Joists truss Roof Rafters trusses

Height of Building one story

Ceiling Height: see plan Basement \_\_\_\_\_ 1st Floor \_\_\_\_\_

After Alteration: 2nd Floor \_\_\_\_\_ 3rd Floor \_\_\_\_\_

No. of Toilets Total -0-

Type of Ventilation mechanical

Valuation: \$18,000.00 Fee: \$293.00

This application and any permit that may be granted in response thereto are subject to all laws of the State of Iowa and all ordinances of the City of Marshalltown, Iowa that may have a bearing on the same.

The Applicant, K-Van Construction, being duly sworn, deposes and says that he is the owner; or that he is authorized and empowered to make affidavit for the owner, who makes the accompanying application; that the application, plat, plans, and specifications are true and contain a correct description of the proposed building, building construction, lot, and use to which building is to be placed.

Application is herewith made by [Signature]  
(Owner or Representative)

Subject to deed restrictions.  
Subject to all Government regulations.

Examined and approved 18 day of December, 20 03

[Signature]  
Building Official

Sketch plot plan on reverse side.

**INSPECTION RECORD**

Address 1408 East Main Street ..... Permit No. 21968  
Date December 18, 2003 ..... Value \$18,000.00  
For 18'x80' Addition  
Owner Lonnie Hogeland  
Contractor K-Van Construction  
Plumbing N/A  
Electrician .....  
Released  
For Occupancy Group S-1  
Lot ..... Block ..... Add. ....

**INSPECTION RECORD**

Address 1408 East Main Street ..... Permit No. 15679  
Date Oct. 10, 1978 ..... Value \$4,000.00  
For 24'x24' addition to present building  
Owner Lyle Hogeland 50' from house  
Contractor Same ..... 200+! to rear lot line  
Plumbing -0- ..... 10! to side lot line  
Electrician .....  
Released  
For Occupancy Group B-2  
Lot ..... Add. ....

**INSPECTION RECORD**

Address 1408 East Main Street ..... Permit No. 17714  
Date November 21, 1988 ..... Value \$20,688  
For New 40' x 60' pole building  
Owner Lyle Hogeland  
Contractor Menard Buildings Front yard 150'  
Rear yard 700'  
Plumbing Left yard 130'  
Right yard 5'  
Electrician .....  
Released  
For Occupancy Group B-1  
Lot ..... Add. ....

|                  | Approved                   | Date    |
|------------------|----------------------------|---------|
| Footing and Wall | Pier Insp. Patrick Johnson | 1-5-04  |
| Frame            | Steve Remond               | 1/9/04  |
| Dry Wall         | No call for inspection     | (S)     |
| Temporary        |                            |         |
| Final            | Steve Remond               | 1/12/04 |
| Remarks          |                            |         |
|                  |                            |         |

12" post holes w/8" ready -mix pads

|                      | Approved  | Date     |
|----------------------|-----------|----------|
| 4x6 post 4' oc       |           |          |
| 2x6x24 Ceiling Joist | O.K. L.C. | 10/20/78 |
| Footing and Wall     |           |          |
| 2x6x24 Rafters       | O.K. L.C. | 11/21/78 |
| Frame                |           |          |
| Dry Wall             |           |          |
| Temporary            |           |          |
| Final                | O.K. L.C. | 2/6/79   |
| Remarks              |           |          |
|                      |           |          |

24"x8" pole footings 14"x4" other footings  
6"x6" 6'oc post (5'6"Deep 20")

|                  | Approved | Date     |
|------------------|----------|----------|
| Footing and Wall | JRW      | 12/13/88 |
| Frame            |          | 12/19/88 |
| Dry Wall         |          |          |
| Temporary        |          |          |
| Final            | JRW      | 1/04/89  |
| Remarks          |          |          |
|                  |          |          |

**INSPECTION RECORD**

Address ..... 1408 East Main Street ..... Permit No. .... 19924  
Date ..... August 15, 1996 ..... Value .. \$20,000.00  
For ..... 40' x 40' bldg addition .....  
Owner ..... Hogeland Body Shop .....  
Contractor ..... K Van Construction .....  
Plumbing ..... N/a .....  
Electrician .....  
Released .....  
For Occupancy ..... Group B .....  
Lot ..... Block ..... Add. ....

**INSPECTION RECORD**

Address ..... 1408 East Main Street ..... Permit No. .... 20959  
Date ..... June 20, 2000 ..... Value .. \$46,000.00  
For ..... New 48'x80' Commercial Building .....  
Owner ..... Lonnie Hogeland .....  
Contractor ..... K-Van Construction ..... 0' East Wall w/lhr fir  
Plumbing ..... N/A ..... wall  
Electrician .....  
Released .....  
For Occupancy ..... Group S-1 .....  
Lot ..... Block ..... Add. ....

**INSPECTION RECORD**

Address ..... 1408 East Main Street ..... Permit No. .... 21590  
Date ..... August 22, 2002 ..... Value .. \$18,000.00  
For ..... 24'x30' Office Addition .....  
Owner ..... Lonnie Hogeland ..... 0' to east w/firewall  
Contractor ..... " " .....  
Plumbing .....  
Electrician .....  
Released ..... Group B .....  
For Occupancy .....  
Lot ..... Block ..... Add. ....

see plans

|                        | Approved     | Date    |
|------------------------|--------------|---------|
| Footing and Wall ..... | SR           | 8/15/96 |
| Frame .....            | J. W. Welsch | 8-21-96 |
| Dry Wall .....         | N/A          |         |
| Temporary .....        |              |         |
| Final .....            | J. W. Welsch | 8-28-96 |
| Remarks .....          |              |         |
| .....                  |              |         |

|                        | Approved             | Date    |
|------------------------|----------------------|---------|
| Footing and Wall ..... | Pier Patrick Johnson | 6-22-00 |
| Frame .....            | No Call              |         |
| Dry Wall .....         |                      |         |
| Temporary .....        | Stop Remove FIREWALL |         |
| Final .....            | No Call              |         |
| Remarks .....          |                      |         |
| .....                  |                      |         |

|                        | Approved                    | Date    |
|------------------------|-----------------------------|---------|
| Footing and Wall ..... | Trench Ftg. Patrick Johnson | 8-26-00 |
| Frame .....            | Stop Remove                 | 9-17-00 |
| Dry Wall .....         | No Call                     |         |
| Temporary .....        |                             |         |
| Final .....            | Stop Remove                 | 11/4/02 |
| Remarks .....          |                             |         |
| .....                  |                             |         |



**Lester Building Systems**

**RAFTER ANALYSIS**

Job: 114576

Page: 1 of 3

Dealer: K-Van Construction

By: JRD

Owner: Hogeland Auto Plaza

Date: 12/08/2003

**RAFTER ANALYSIS SUMMARY - T1 - 18ft Lean-to Rafter**

Maximum CSI: 0.900 Load Case: D+S Max. Reaction: 2730.0 lb Load Case: D+S  
 Max. CSI Location: 8'-11 15/16" From Left End of Member.

|                              |                             |                    |                  |                       |
|------------------------------|-----------------------------|--------------------|------------------|-----------------------|
| Max. Deflection Index: 0.470 | Deflection Inches           | Allowable Defl. in | Deflection Ratio | Allowable Defl. Ratio |
| Load Case: D+S               | Total (KDL+LL) Applied (LL) | 0.675              | L/320            | L/120                 |
|                              |                             | 0.564              | L/383            | L/180                 |

**GEOMETRY**

Rafter Overall Length (Horiz.): 18'-6" Rafter Spacing: 8'-0"  
 Rafter Slope: 2.50 / 12  
 Brace Spacing: Loaded Edge: 2'-8" Opposite Edge: 18'-0"

**SUPPORTS AND REACTIONS**

Support Locations Measured From Left End Of Rafter

|                               |       |        |  |
|-------------------------------|-------|--------|--|
| Reactions: Vertical Only (lb) |       |        |  |
| Spt. Loc.:                    | 0'-0" | 18'-0" |  |
| Dead Load:                    | 425   | 449    |  |
| Snow Load:                    | 2159  | 2282   |  |
| Max. Total:                   | 2583  | 2730   |  |

**LUMBER**

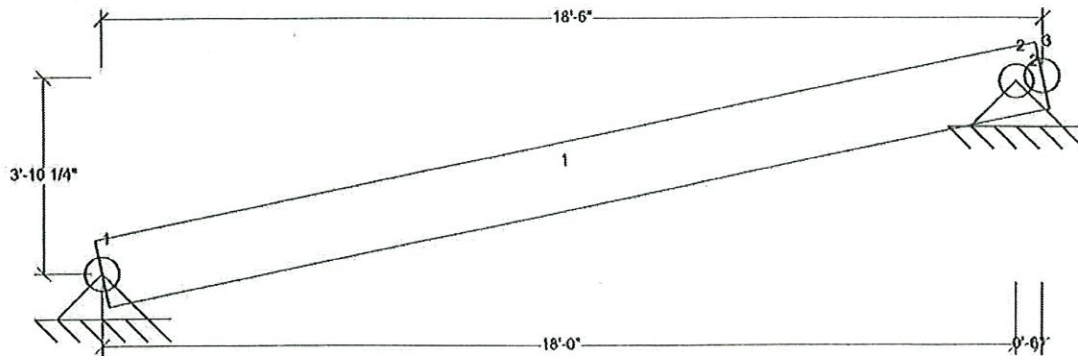
1-1/2x16 SP 2.0E MICROLAM LVL Lumber ID: 2303 Flexural Axis: Strong  
 Member Self-Weight is added to the loads listed below. ( 7 lb/ft)

**DISTRIBUTED LOADS**

| Start Magnitude | Start Location | End Magnitude | End Location | Type | Direction         |
|-----------------|----------------|---------------|--------------|------|-------------------|
| 5.00 psf        | 0'-0"          | 5.00 psf      | 18'-6"       | Dead | Local Y-Direction |
| 30.00 psf       | 0'-0"          | 30.00 psf     | 18'-6"       | Snow | Local Y-Direction |

**LOAD COMBINATIONS**

| Combination | Duration Factor (Cd) |
|-------------|----------------------|
| D           | 0.90                 |
| D+S         | 1.15                 |





**Lester Building Systems**

**RAFTER ANALYSIS**

Job: 114576

Page: 2 of 3

Dealer: K-Van Construction

By: JRD

Owner: Hogeland Auto Plaza

Date: 12/08/2003

**MEMBER FORCES - Load Case: D+S**

| No. | Type | Left Axial Force (lb) | Left Shear Force (lb) | Left Bending Moment (in-lb) | Right Axial Force (lb) | Right Shear Force (lb) | Right Bending Moment (in-lb) | Maximum Midspan Moment (in-lb) | Midspan Moment Location (in) |
|-----|------|-----------------------|-----------------------|-----------------------------|------------------------|------------------------|------------------------------|--------------------------------|------------------------------|
| 1   | TC1  | 527.1                 | 2528.1                | 0.0                         | 527.1                  | 2532.0                 | -430.7                       | -139339.8                      | 110.23                       |
| 2   | TC1  | 29.3                  | 140.6                 | 430.7                       | 0.0                    | 0.0                    | 0.0                          | 106.6                          | 3.08                         |

**JOINT DEFLECTIONS - Load Case: D+S**

| No. | Type | Horiz. Defl. (in) | Vert. Defl. (in) | Rotation (rad) |
|-----|------|-------------------|------------------|----------------|
| 1   | TC   | 0.0000            | 0.0000           | -0.0100077     |
| 2   | TC   | 0.0000            | 0.0000           | 0.0099922      |
| 3   | TC   | -0.0125           | 0.0599           | 0.0099914      |

**REACTIONS - Load Case: D+S**

| No.   | Horiz. (X) Location | Vertical (Y) Location | Horizontal Reaction (lb) | Vertical Reaction (lb) | Moment Reaction (ft-lb) |
|-------|---------------------|-----------------------|--------------------------|------------------------|-------------------------|
| 1     | 0'-0"               | 0'-0"                 | 0.4                      | 2582.4                 | 0.0                     |
| 2     | 18'-0"              | 3'-9"                 | -0.4                     | 2729.8                 | 0.0                     |
| Total |                     |                       | 0.0                      | 5312.3                 | 0.0                     |

**MEMBER CSI SUMMARY - Load Case: D+S**

| No. | Type | Lumber ID | Axial Force (lb) | Bending Moment (in-lb) | Shear Force (lb) | CSI Axial+ Flexure | CSI Shear |
|-----|------|-----------|------------------|------------------------|------------------|--------------------|-----------|
| 1   | TC1  | 2303      | -0.4             | -139339.8              | 0.0              | 0.900              | 0.000     |
| 2   | TC1  | 2303      | -29.3            | 430.7                  | -140.6           | 0.002              | 0.018     |



# RAFTER ANALYSIS

Job: 114576

Page: 3 of 3

Dealer: K-Van Construction

By: JRD

Owner: Hogeland Auto Plaza

Date: 12/08/2003

## DETAILED CSI CALCULATIONS FOR CRITICAL SECTION - Load Case: D+S

CSI CALCULATIONS FOR MEMBER 1 (TC1) - LOAD CASE: D+S

Critical Section 14 at 110.23 inches from left end of Member.  
 Maximum CSI = 0.900  
 Member Length = 220.638 (18'-4 5/8")

### LUMBER DATA (Property Units: in)

| ID   | Plies        | Nom. Size | Species  | Grade             | Type    | Treated |
|------|--------------|-----------|----------|-------------------|---------|---------|
| 2303 | 1            | 1-1/2x16  | SP       | 2.0E MICROLAM LVL | LVL     | N       |
|      | Width        | Depth     | Area     |                   |         |         |
|      | 1.500        | 16.000    | 24.000   |                   |         |         |
|      | Ixx          | Sxt       | Sxb      | Iyy               | Syl     | Syr     |
|      | 512.000      | 64.000    | 64.000   | 4.500             | 6.000   | 6.000   |
|      | Moist. Cont. | Sp. Grav. | C.o.V.E. | Wt./Ft.           | Spacing | Service |
|      | 15           | 0.50      | 0.10     | 7.00              | 0.0     | Dry     |
|      |              |           |          |                   |         | Temp.   |
|      |              |           |          |                   |         | 70      |

LOADS (lb or in-lb) (Axial compression is negative) (M and V are absolute values)

| Axial | Mx       | Vx   | My  | Vy  |
|-------|----------|------|-----|-----|
| -0.4  | 139339.8 | 0.00 | 0.0 | 0.0 |

### DIMENSIONS AND SECTION PROPERTIES (in)

| Be    | BeC   | De     | DeC    | Area   | Sxx    | Syy   |
|-------|-------|--------|--------|--------|--------|-------|
| 1.500 | 1.500 | 16.000 | 16.000 | 24.000 | 64.000 | 6.000 |

### EFFECTIVE LENGTHS (in)

| Lebx   | Leby   | Lecx    | Lecy   |
|--------|--------|---------|--------|
| 59.328 | 59.328 | 204.294 | 28.800 |

### NDS TABULATED ALLOWABLE STRESSES AND MOD. OF ELASTICITY VALUES (psi or 10<sup>6</sup> psi)

| Fbx    | Fcx    | Ex   | Fby    | Fcy   | Ey   |
|--------|--------|------|--------|-------|------|
| 2750.0 | 880.0  | 2.00 | 3255.0 | 525.0 | 2.00 |
| Ft     | Fc     | E    | Fvx    | Fvy   |      |
| 1805.0 | 2365.0 | 2.00 | 285.0  | 190.0 |      |

### NDS MODIFICATION FACTORS

| Cd    | Cr    | Kf    | Cs    | Cfu   | Cv    | Ch    | CF    |
|-------|-------|-------|-------|-------|-------|-------|-------|
| 1.150 | 1.000 | 1.000 | 1.000 | 1.000 | 1.000 | 1.500 | 0.960 |

### BEAM STABILITY FACTORS (Refer to NDS Section 3.3.3)

| CLx   | Rbx    | Kbe   | Fbex   | Fb*x   |
|-------|--------|-------|--------|--------|
| 0.797 | 20.540 | 0.610 | 2891.8 | 3036.0 |
| CLy   | Rby    | Kbe   | Fbey   | Fb*y   |
| 1.000 | 0.000  | 0.610 | 0.0    | 0.0    |

$R_b = \sqrt{\text{Leb} \times \text{De} / \text{Be}^2}$        $F_{be} = K_{be} \times E' / R_b^2$   
 $CL = (1 + F_{be} / F_b^*) / 1.9 - \sqrt{((1 + F_{be} / F_b^*) / 1.9)^2 - F_{be} / F_b^* / 0.95}$

### COLUMN STABILITY FACTOR (Refer to NDS Sections 3.7.1 and 15.3.1)

| Cp    | Lecx/Dx | Lecy/Dy | Kce   | Fce    | c     | Pc*    |
|-------|---------|---------|-------|--------|-------|--------|
| 0.625 | 12.768  | 19.200  | 0.418 | 2267.8 | 0.800 | 2719.7 |

$F_{ce} = K_{ce} \times E' / (\text{Lec} / D)^2$  (Maximum L/d is used)  
 $C_p = K_f \times \{ (1 + F_{ce} / F_c^*) / (2 \times c) - \sqrt{((1 + F_{ce} / F_c^*) / (2 \times c))^2 - F_{ce} / F_c^* / c} \}$

### MODIFIED ALLOWABLE STRESSES AND MOD. OF ELASTICITY VALUES (psi or 10<sup>6</sup> psi)

| Fbx    | Fcx    | Ex   | Fby    | Fcy   | Ey   |
|--------|--------|------|--------|-------|------|
| 2418.3 | 880.0  | 2.00 | 4491.9 | 525.0 | 2.00 |
| Ft     | Fc     | E    | Fvx    | Fvy   |      |
| 2075.7 | 1700.4 | 2.00 | 491.6  | 327.7 |      |

### ACTUAL STRESSES (psi)

| fbx     | fby  | fc   | ft   | fvx  | fvy  |
|---------|------|------|------|------|------|
| 2177.18 | 0.00 | 0.02 | 0.00 | 0.00 | 0.00 |

### COMBINED STRESS INDEX (CSI) (Refer to NDS Sections 3.9.1 and 3.9.2)

| FceX                   | FceY   | Ax. Term     | Fbx Term | Fby Term  |
|------------------------|--------|--------------|----------|-----------|
| 5127.8                 | 2267.8 | 0.000        | 0.900    | 0.000     |
| Flexure + Axial: 0.900 |        | Shear: 0.000 |          | Eq. 3.9-3 |



**Lester Building Systems**

## RAFTER ANALYSIS

Dealer: K-Van Construction

Owner: Hogeland Auto Plaza

Job: 114576

Page: 1 of 3

By: JRD

Date: 12/08/2003

### RAFTER ANALYSIS SUMMARY - T1 - 18ft Lean-to Rafter

Maximum CSI: 0.900 Load Case: D+S Max. Reaction: 2730.0 lb Load Case: D+S  
 Max. CSI Location: 8'-11 15/16" From Left End of Member.

| Max. Deflection Index: 0.470 | Deflection Inches    | Allowable Defl. in | Deflection Ratio | Allowable Defl. Ratio |
|------------------------------|----------------------|--------------------|------------------|-----------------------|
| Load Case: D+S               | Total (KDL+LL) 0.675 | 1.500              | L/320            | L/120                 |
|                              | Applied (LL) 0.564   | --                 | L/383            | L/180                 |

### GEOMETRY

Rafter Overall Length (Horiz.): 18'-6" Rafter Spacing: 8'-0"  
 Rafter Slope: 2.50 / 12  
 Brace Spacing: Loaded Edge: 2'-8" Opposite Edge: 18'-0"

### SUPPORTS AND REACTIONS

Support Locations Measured From Left End Of Rafter

| Reactions: Vertical Only (lb) |              |
|-------------------------------|--------------|
| Spt. Loc.:                    | 0'-0" 18'-0" |
| Dead Load:                    | 425 449      |
| Snow Load:                    | 2159 2282    |
| Max. Total:                   | 2583 2730    |

### LUMBER

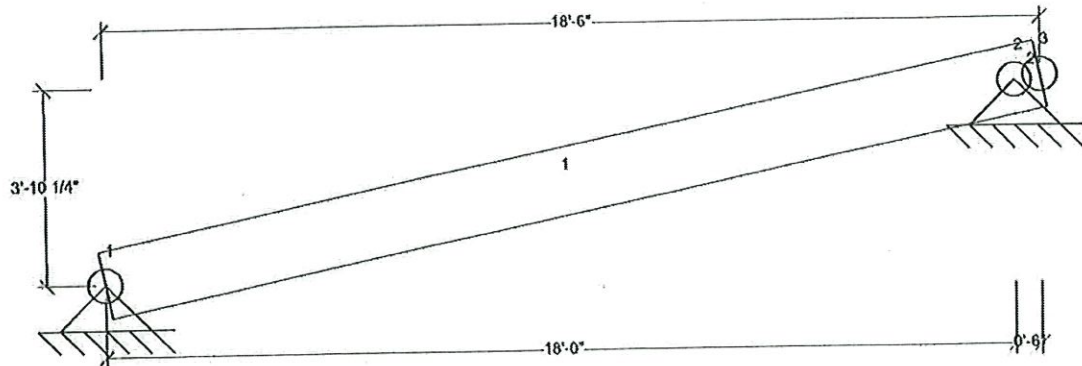
1-1/2x16 SP 2.0E MICROLAM LVL Lumber ID: 2303 Flexural Axis: Strong  
 Member Self-Weight is added to the loads listed below. ( 7 lb/ft)

### DISTRIBUTED LOADS

| Start Magnitude | Start Location | End Magnitude | End Location | Type | Direction         |
|-----------------|----------------|---------------|--------------|------|-------------------|
| 5.00 psf        | 0'-0"          | 5.00 psf      | 18'-6"       | Dead | Local Y-Direction |
| 30.00 psf       | 0'-0"          | 30.00 psf     | 18'-6"       | Snow | Local Y-Direction |

### LOAD COMBINATIONS

| Combination | Duration Factor (Cd) |
|-------------|----------------------|
| D           | 0.90                 |
| D+S         | 1.15                 |





**Lester Building Systems**

**RAFTER ANALYSIS**

Job: 114576

Page: 2 of 3

Dealer: K-Van Construction

By: JRD

Owner: Hogeland Auto Plaza

Date: 12/08/2003

**MEMBER FORCES - Load Case: D+S**

| No. | Type | Left Axial Force (lb) | Left Shear Force (lb) | Left Bending Moment (In-lb) | Right Axial Force (lb) | Right Shear Force (lb) | Right Bending Moment (In-lb) | Maximum Midspan Moment (In-lb) | Midspan Moment Location (In) |
|-----|------|-----------------------|-----------------------|-----------------------------|------------------------|------------------------|------------------------------|--------------------------------|------------------------------|
| 1   | TC1  | 527.1                 | 2528.1                | 0.0                         | 527.1                  | 2532.0                 | -430.7                       | -139339.8                      | 110.23                       |
| 2   | TC1  | 29.3                  | 140.6                 | 430.7                       | 0.0                    | 0.0                    | 0.0                          | 106.6                          | 3.08                         |

**JOINT DEFLECTIONS - Load Case: D+S**

| No. | Type | Horiz. Defl. (in) | Vert. Defl. (in) | Rotation (rad) |
|-----|------|-------------------|------------------|----------------|
| 1   | TC   | 0.0000            | 0.0000           | -0.0100077     |
| 2   | TC   | 0.0000            | 0.0000           | 0.0099922      |
| 3   | TC   | -0.0125           | 0.0599           | 0.0099914      |

**REACTIONS - Load Case: D+S**

| No.   | Horiz. (X) Location | Vertical (Y) Location | Horizontal Reaction (lb) | Vertical Reaction (lb) | Moment Reaction (ft-lb) |
|-------|---------------------|-----------------------|--------------------------|------------------------|-------------------------|
| 1     | 0'-0"               | 0'-0"                 | 0.4                      | 2582.4                 | 0.0                     |
| 2     | 18'-0"              | 3'-9"                 | -0.4                     | 2729.8                 | 0.0                     |
| Total |                     |                       | 0.0                      | 5312.3                 | 0.0                     |

**MEMBER CSI SUMMARY - Load Case: D+S**

| No. | Type | Lumber ID | Axial Force (lb) | Bending Moment (In-lb) | Shear Force (lb) | CSI Axial+ Flexure | CSI Shear |
|-----|------|-----------|------------------|------------------------|------------------|--------------------|-----------|
| 1   | TC1  | 2303      | -0.4             | -139339.8              | 0.0              | 0.900              | 0.000     |
| 2   | TC1  | 2303      | -29.3            | 430.7                  | -140.6           | 0.002              | 0.018     |



Lester Building Systems

**RAFTER ANALYSIS**

Job: 114576

Page: 3 of 3

Dealer: K-Van Construction

By: JRD

Owner: Hogeland Auto Plaza

Date: 12/08/2003

**DETAILED CSI CALCULATIONS FOR CRITICAL SECTION - Load Case: D+S**

CSI CALCULATIONS FOR MEMBER 1 (TC1) - LOAD CASE: D+S

Critical Section 14 at 110.23 inches from left end of Member.  
 Maximum CSI = 0.900  
 Member Length = 220.638 (18'-4 5/8")

**LUMBER DATA (Property Units: in)**

| ID   | Plies        | Nom. Size | Species  | Grade             | Type    | Treated |       |
|------|--------------|-----------|----------|-------------------|---------|---------|-------|
| 2303 | 1            | 1-1/2x16  | SP       | 2.0E MICROLAM LVL | LVL     | N       |       |
|      | Width        | Depth     | Area     |                   |         |         |       |
|      | 1.500        | 16.000    | 24.000   |                   |         |         |       |
|      | Ixx          | Sxt       | Sxb      | Iyy               | Syl     | Syr     |       |
|      | 512.000      | 64.000    | 64.000   | 4.500             | 6.000   | 6.000   |       |
|      | Moist. Cont. | Sp. Grav. | C.o.V.E. | Wt./ft.           | Spacing | Service | Temp. |
|      | 15           | 0.50      | 0.10     | 7.00              | 0.0     | Dry     | 70    |

**LOADS (lb or in-lb) (Axial compression is negative) (M and V are absolute values)**

| Axial | Mx       | Vx   | My  | Vy  |
|-------|----------|------|-----|-----|
| -0.4  | 139339.8 | 0.00 | 0.0 | 0.0 |

**DIMENSIONS AND SECTION PROPERTIES (in)**

| Be    | BeC   | De     | DeC    | Area   | Sxx    | Syy   |
|-------|-------|--------|--------|--------|--------|-------|
| 1.500 | 1.500 | 16.000 | 16.000 | 24.000 | 64.000 | 6.000 |

**EFFECTIVE LENGTHS (in)**

| Lebx   | Leby   | Lecx    | Lecy   |
|--------|--------|---------|--------|
| 59.328 | 59.328 | 204.294 | 28.800 |

**NDS TABULATED ALLOWABLE STRESSES AND MOD. OF ELASTICITY VALUES (psi or 10<sup>6</sup> psi)**

| Fbx    | Fcx    | Ex   | Fby    | Fcy   | Ey   |
|--------|--------|------|--------|-------|------|
| 2750.0 | 880.0  | 2.00 | 3255.0 | 525.0 | 2.00 |
| Ft     | Fc     | E    | Fvx    | Fvy   |      |
| 1805.0 | 2365.0 | 2.00 | 285.0  | 190.0 |      |

**NDS MODIFICATION FACTORS**

| Cd    | Cr    | Kf    | Cs    | Cfu   | Cv    | Ch    | Cf    |
|-------|-------|-------|-------|-------|-------|-------|-------|
| 1.150 | 1.000 | 1.000 | 1.000 | 1.000 | 1.000 | 1.500 | 0.960 |

**BEAM STABILITY FACTORS (Refer to NDS Section 3.3.3)**

| CLx   | Rbx    | Kbe   | Fbex   | Fb*x   |
|-------|--------|-------|--------|--------|
| 0.797 | 20.540 | 0.610 | 2891.8 | 3036.0 |
| CLy   | Rby    | Kbe   | Fbey   | Fb*y   |
| 1.000 | 0.000  | 0.610 | 0.0    | 0.0    |

$Rb = \sqrt{Leb \times De / Be^2}$        $Fbe = Kbe \times E' / Rb^2$   
 $CL = (1 + Fbe / Fb*) / (1.9 - \sqrt{((1 + Fbe / Fb*) / 1.9)^2 - Fbe / Fb* / 0.95})$

**COLUMN STABILITY FACTOR (Refer to NDS Sections 3.7.1 and 15.3.1)**

| Cp    | Lecx/Dx | Lecy/Dy | Kce   | Fce    | c     | Fc*    |
|-------|---------|---------|-------|--------|-------|--------|
| 0.625 | 12.768  | 19.200  | 0.418 | 2267.8 | 0.800 | 2719.7 |

$Fce = Kce \times E' / (Lec/D)^2$  (Maximum L/d is used)  
 $Cp = Kf \times [(1 + Fce / Fc*) / (2 \times c) - \sqrt{((1 + Fce / Fc*) / (2 \times c))^2 - Fce / Fc* / c}]$

**MODIFIED ALLOWABLE STRESSES AND MOD. OF ELASTICITY VALUES (psi or 10<sup>6</sup> psi)**

| Fbx    | Fcx    | Ex   | Fby    | Fcy   | Ey   |
|--------|--------|------|--------|-------|------|
| 2418.3 | 880.0  | 2.00 | 4491.9 | 525.0 | 2.00 |
| Ft     | Fc     | E    | Fvx    | Fvy   |      |
| 2075.7 | 1700.4 | 2.00 | 491.6  | 327.7 |      |

**ACTUAL STRESSES (psi)**

| fbx     | fby  | fc   | ft   | fvx  | fvy  |
|---------|------|------|------|------|------|
| 2177.18 | 0.00 | 0.02 | 0.00 | 0.00 | 0.00 |

**COMBINED STRESS INDEX (CSI) (Refer to NDS Sections 3.9.1 and 3.9.2)**

| FceX                   | FceY   | Ax. Term     | Fbx Term | Fby Term  |
|------------------------|--------|--------------|----------|-----------|
| 5127.8                 | 2267.8 | 0.000        | 0.900    | 0.000     |
| Flexure + Axial: 0.900 |        | Shear: 0.000 |          | Eq. 3.9-3 |

**APPLICATION FOR DEMOLITION PERMIT**  
**CITY OF MARSHALLTOWN BUILDING DEPARTMENT**

**DEMOLITION DEBRIS MUST BE DEPOSITED AT AN APPROVED LANDFILL**

Owner of Property: Lyle E. Hogeland

Address of Owner: 1408 East Main Street

Demolition Site: 1408 East Main Street

Description of Structure: Wood Frame Dwelling

Demolition Contractor: Con-Struct Inc.

Demolition Contractor's Address: 1710 East Main Street

\*Is the Demolition Site to be used for a parking lot after Demolition? YES If yes, the Zoning Administrator should be contacted for Approval prior to Demolition Permit Issuance.

Utilities Disconnected By: Gas/Electric: Alliant Energy

\*Sewer laterals shall be abandoned at the property line by a Licensed Plumber, with the abandonment inspected by the City of Marshalltown Sewer Department.

\*\*Plumber: Bjelland Plumbing

\*The Marshalltown Water Works must be notified prior to Demolition for removal of water meter and water service shall be abandoned by a Licensed Plumber and inspected by a Water Works Inspector.

\*\*Plumber: Bjelland Plumbing

Date Demolition Project Will Start: February 5, 2007

Date Demolition Project Will Be Completed: March 5, 2007

Protective Devices: For the safety of the general public, the area of Demolition work must be posted and enclosed with a fence or other means and kept in good order for the entire length of time of the demolition work.

If at any time during Demolition period a serious or dangerous condition exists and is not abated, the City may remove the dangerous condition and charge the cost of such work to the property owner.

Signature Owner/Contractor: X PAID BY CHECK RECEIPT # 001-00117470 1/5/07

Liability Insurance Carrier: Koehler Insurance

Permit Number: 22683 Date Issued: January 4, 2007

Building Official: Vicki A. Rowland

\*Note: all information on this application shall be considered as part of the permit at the time of issuance.

CITY OF MARSHALLTOWN, IOWA  
 BUILDING DEPARTMENT  
 APPLICATION FOR BUILDING PERMIT  
 641-754-5737

DATE: 1-3-07

OWNER'S NAME LYLE E. HOGLAND PHONE 641-752-0027  
 ADDRESS OF PROPOSED CONSTRUCTION 1408 E. MAIN ST MARSHALLTOWN  
 GENERAL CONTRACTOR CONSTRUCT INC PHONE 752-1865  
 ADDRESS 1710 E. MAIN ST MARSHALLTOWN  
 IOWA REGISTRATION NUMBER \_\_\_\_\_ EXPIRATION DATE \_\_\_\_\_  
 LIABILITY INSURANCE CARRIER KOEHLER INS.  
 CURRENT CERTIFICATE OF INSURANCE ON FILE? YES \_\_\_\_\_ NO \_\_\_\_\_  
 ELECTRICAL CONTRACTOR BITEWAY Elect.  
 PLUMBING CONTRACTOR BJELLAND PIPES  
 MECHANICAL CONTRACTOR Biteway Elec / CONSTRUCT INC

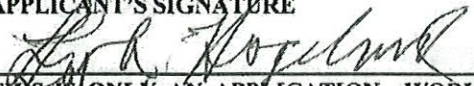
DESCRIPTION OF WORK CHECK APPROPRIATE SPACE \$ \_\_\_\_\_

NEW \_\_\_\_\_ REPAIR \_\_\_\_\_  
 ALTERATION \_\_\_\_\_ REMODEL \_\_\_\_\_  
 ENLARGE \_\_\_\_\_ DEMOLISH   
 SATELLITE \_\_\_\_\_  
 BUILDING USE: \_\_\_\_\_

DESCRIBE SCOPE OF WORK: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

SIZE X SQ. FT. \_\_\_\_\_  
 NUMBER OF STORIES 2  
 BASEMENT  CRAWL SPACE \_\_\_\_\_  
 CELLAR \_\_\_\_\_ OTHER \_\_\_\_\_

THIS FORM IS TO ACCOMPANY REQUIRED PLANS, FLOOR PLANS, ELEVATIONS, CROSS SECTION DETAILS AND OTHER INFO AS MAY BE REQUIRED.

APPLICANT'S SIGNATURE  
  
 THIS IS ONLY AN APPLICATION—WORK IS NOT TO BE STARTED UNTIL A BUILDING PERMIT IS GRANTED.

ESTIMATE COST OF CONSTRUCTION (TO INCLUDE LABOR, MATERIALS, PLUMBING, ELECTRICAL, MECHANICAL ETC.)

SPECIFICATIONS

FOUNDATION  
 MATERIAL SIZE \_\_\_\_\_  
 FOOTING SIZE \_\_\_\_\_  
 PIERS (NUMBER & SIZE) \_\_\_\_\_  
 DEPTH IN GROUND \_\_\_\_\_  
 FRAME SIZE SPACING SPAN  
 \_\_\_\_\_  
 GIRDERS-BEAMS \_\_\_\_\_  
 FLOOR JOIST \_\_\_\_\_  
 RAFTERS \_\_\_\_\_  
 EXTERIOR WALLS \_\_\_\_\_  
 INTERIOR WALLS \_\_\_\_\_  
 CEILING JOIST \_\_\_\_\_  
 SUBFLOOR \_\_\_\_\_  
 ROOF PITCH \_\_\_\_\_  
 COVERINGS - SPECIFY TYPE & THICKNESS  
 INTERIOR WALL \_\_\_\_\_  
 EXTERIOR WALL \_\_\_\_\_  
 CEILING \_\_\_\_\_  
 ROOFING \_\_\_\_\_

MISCELLANEOUS INFORMATION  
START TIME: MID FEBRUARY  
FINISH TIME: END FEBRUARY  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**CITY OF MARSHALLTOWN, IOWA**  
**COMMERCIAL, MULTI-FAMILY, INDUSTRIAL, INSTITUTIONAL USE**  
**CITY CHECK OFF LIST**

**Applicant Information**

Applicant's Name: Hogeland Body Shop & Salvage Phone: 752-0027  
 Address of Request: 1408 E. Main Street  
 Zoning District: m-2 Map Number 5-20  
 Legal Description: \_\_\_\_\_  
Parcel 07-25-476-007

**Zoning**

**Primary Use**

Use Office  
 \_\_\_\_\_ Front Yard (Corner lot) \_\_\_\_\_  
 Front - 45' Ft. Required 0'  
 Side - 0' + 110' Ft. Required 0'  
n/a Rear - \_\_\_\_\_ Ft. Required 0'  
 Height - 1 story Ft. Maximum 4 stories  
n/a Parking spaces - \_\_\_\_\_ Required \_\_\_\_\_  
n/a Loading spaces - \_\_\_\_\_ Required \_\_\_\_\_  
n/a Driveway Permit required: Yes \_\_\_\_\_ No \_\_\_\_\_  
n/a Paving requirement met: Yes \_\_\_\_\_ No \_\_\_\_\_  
n/a Multi-family uses: Lot Area: \_\_\_\_\_ Required \_\_\_\_\_  
n/a Multi-family uses: Number of units \_\_\_\_\_

**Accessory Buildings**

~~\_\_\_\_\_~~ Side setback \_\_\_\_\_ Ft. (3 ft. min., more if in side yard)  
~~\_\_\_\_\_~~ Rear setback \_\_\_\_\_ Ft. (3 ft. minimum)  
 \_\_\_\_\_ Distance from primary structure or other structure (5 ft. min.)  
 \_\_\_\_\_ Percent of rear yard \_\_\_\_\_ % (30% max)  
 \_\_\_\_\_ Height \_\_\_\_\_ Ft. (max 15 ft. mean height)  
 \_\_\_\_\_ Square footage \_\_\_\_\_ (900 s.f. maximum)  
 \_\_\_\_\_ Driveway Permit required: Yes \_\_\_\_\_ No \_\_\_\_\_  
 \_\_\_\_\_ Paving requirement met: Yes \_\_\_\_\_ No \_\_\_\_\_

**Aesthetics and Visuals**

~~\_\_\_\_\_~~ Review by Site Plan Review Bd. Yes \_\_\_\_\_ No \_\_\_\_\_ NA \_\_\_\_\_  
~~\_\_\_\_\_~~ Screening of dumpsters: Yes \_\_\_\_\_ No \_\_\_\_\_ NA \_\_\_\_\_  
~~\_\_\_\_\_~~ Submission of signage plans: Yes \_\_\_\_\_ No \_\_\_\_\_ NA \_\_\_\_\_  
~~\_\_\_\_\_~~ Proposed landscaping: Yes \_\_\_\_\_ No \_\_\_\_\_ NA \_\_\_\_\_  
~~\_\_\_\_\_~~ Elevations for site plan review: Yes \_\_\_\_\_ No \_\_\_\_\_ NA \_\_\_\_\_

**Engineering**

9) Will use encroach upon any easements: Yes \_\_\_ No

A. If so which ones \_\_\_\_\_

Will use encroach upon any sewers: Yes \_\_\_ No

10) Is the use in the floodplain: Yes \_\_\_ No

A. Will it comply with all floodplain standards? (Please provide details)

Yes \_\_\_ No \_\_\_

Details: \_\_\_\_\_

11) Locate nearest and proposed fire hydrants: Yes \_\_\_ No \_\_\_ NA

12) Detailed storm water management plan: Yes \_\_\_ No \_\_\_ NA None Shown

13) Traffic circulation and parking plan: Yes \_\_\_ No \_\_\_ NA

14.) Are sidewalks required to be installed: Yes \_\_\_ No  NA \_\_\_

15.) Entrance permit application Yes \_\_\_ No \_\_\_ NA

**Action**

**Zoning Comments:**

\_\_\_\_\_ Site plan review required by Chapter 5, Zoning Ordinance of 1998.

\_\_\_\_\_ Date Approved \_\_\_\_\_ Attach Requirements.

\_\_\_\_\_ Variance granted \_\_\_\_\_

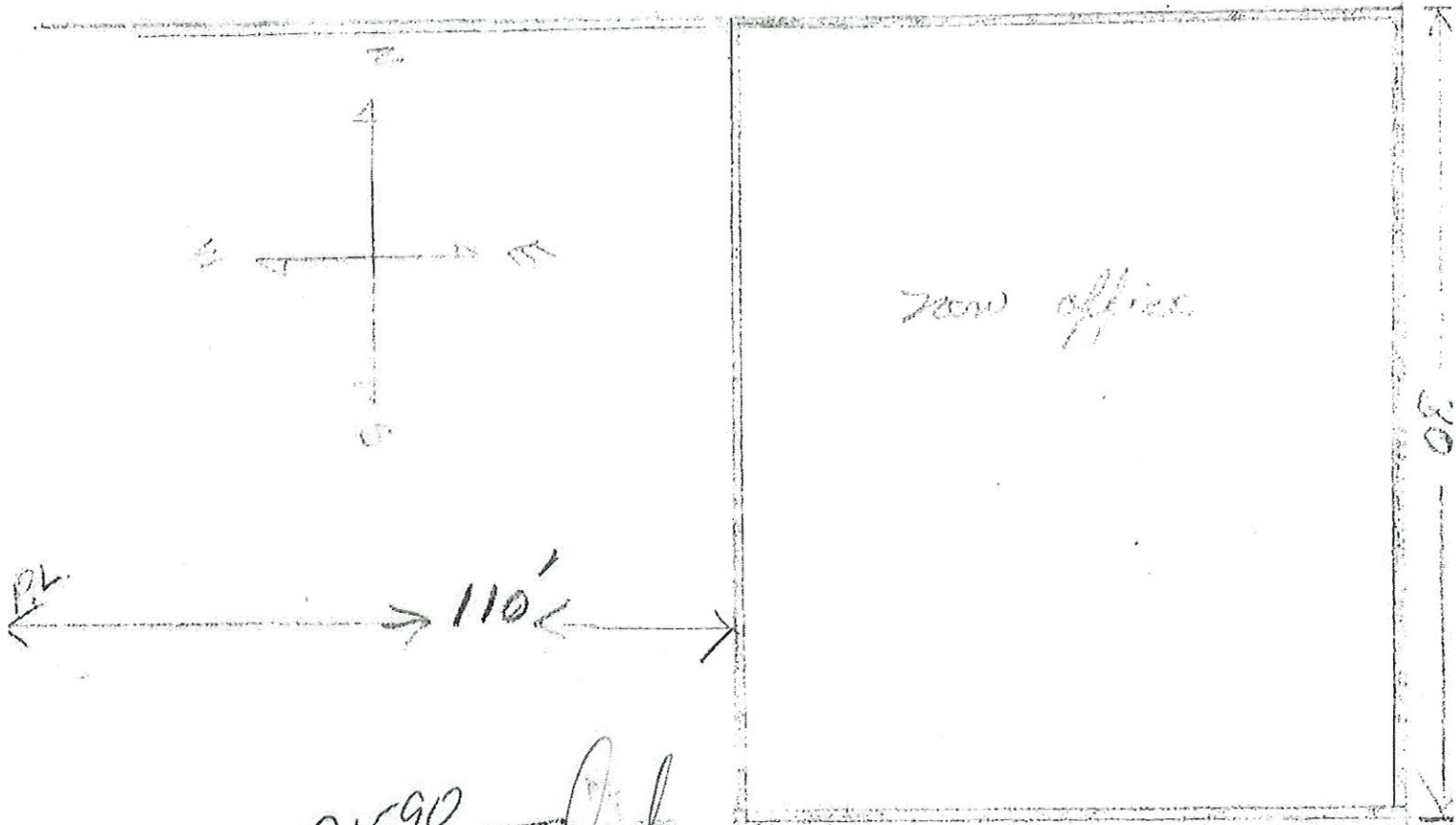
\_\_\_\_\_ Other: \_\_\_\_\_

Zoning Officer approval *Micaela* Date: 8/14/02

**Public Works Comments:**

Public Works approval *Wayne Hartley* Date: 8-20-02

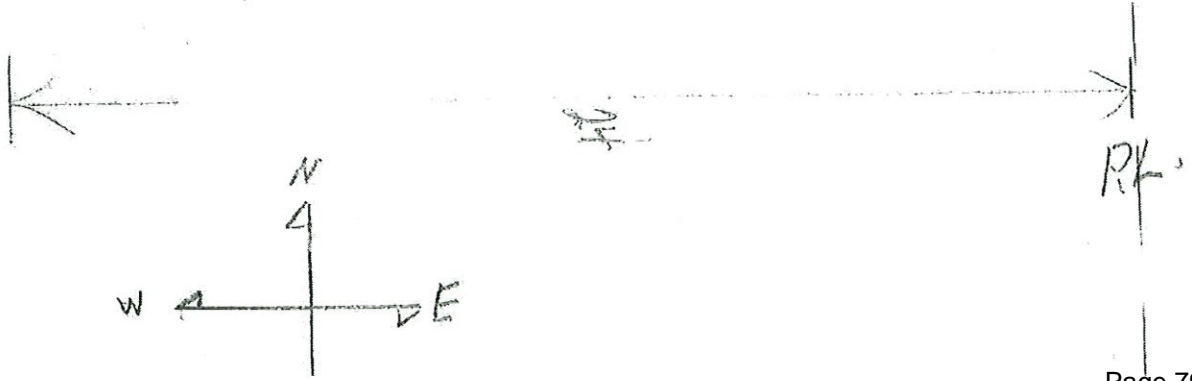
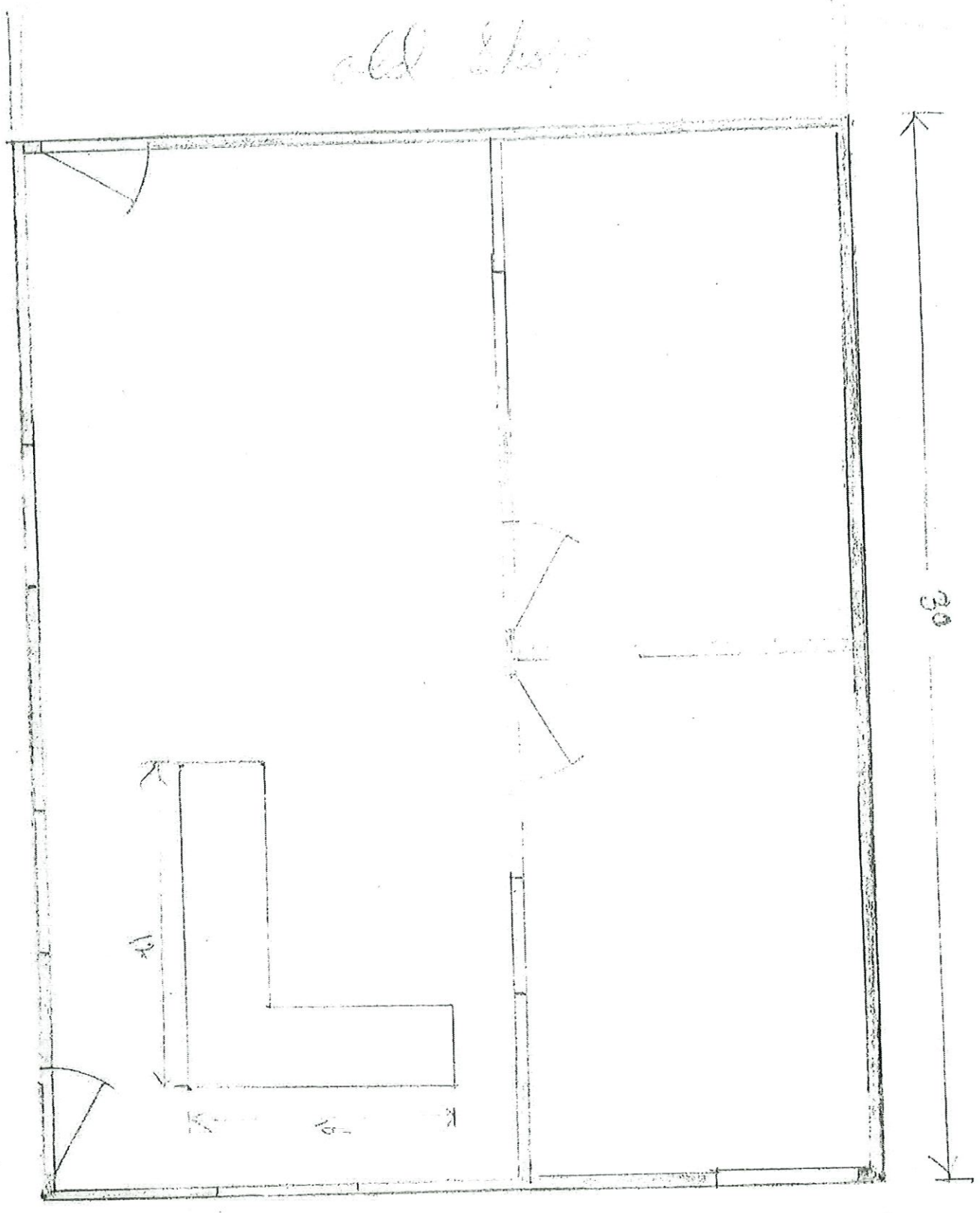
old shop



Building Permit Number 21590  
 Date permit issued 8-22-92  
 City Building Official [Signature]  
 Fire Marshal [Signature]

These plans have been reviewed by the above City Officials  
 and found to be in compliance except as otherwise noted.  
 The issuance or granting of a permit or approval of plans or  
 specifications shall not be construed to be a permit for, or an  
 approval of, any violation of any of the provisions of the  
 legally adopted Code in effect for the City of Honolulu.

old shop



Commercial Use

- 1) Applicants Name: HOGELAND BODY SHOP
- 2) Address of Request: 1403 E. MAIN
- 3) Zoning: M-2
- 4) Application Use: STORAGE - BODY SHOP
- 5) Legal description for lot: (attached) SEE ATTACHED
- 6) Check all those that apply for primary lot use:

Use: (please list) BODY SHOP (STORAGE GARAGE)  
 Parking: No. \_\_\_\_\_  
 Loading: No. \_\_\_\_\_  
 Height Regulations \_\_\_\_\_ Ft.  
 Front 60 Ft.  
 Side 32 Ft.  
 Rear \_\_\_\_\_ Ft.

7) If it is an accessory use please check whether it meets the following:

Side \_\_\_\_\_ Ft.  
 Rear \_\_\_\_\_ Ft.  
 % of lot \_\_\_\_\_ %

8) Will the use encroach upon any easements: Yes \_\_\_\_\_ No  ?  
 Will the use encroach upon any sewers: Yes \_\_\_\_\_ No

9) Is the use in the floodplain: Yes \_\_\_\_\_ No   
 A. If yes, please detail whether it complies:

\_\_\_\_\_  
 \_\_\_\_\_

10) Indicate Zoning action:

Meets all zoning requirements  
 Needs variance for what \_\_\_\_\_  
 Needs rezoning.

Zoning Officer approval Mark He

Date: June 14, 1996

Engineer approval Wayne Blanton

Date: 6-14-96

**CITY OF MARSHALLTOWN, IOWA**  
**COMMERCIAL, MULTI-FAMILY, INDUSTRIAL, INSTITUTIONAL USE**  
**CITY CHECK OFF LIST**

**Applicant Information**

Applicant's Name: Lonnie Hogeland Phone: 752-0027  
 Address of Request: 1408 E. Main St.  
 Zoning District: M-2 Map Number J-20  
 Legal Description: \_\_\_\_\_  
Parcel 07-25-476-007

**Zoning**

**Primary Use**

Use Storage (Addition)  
 \_\_\_\_\_ Front Yard (Corner lot) \_\_\_\_\_  
 Front - 1 block Ft. attach Required 0'  
 Side - 4' to existing Ft. 20 Required 0'  
 Rear - ~2 blocks Ft. existing Required 0'  
 Height - 1 story Ft. Maximum 4 story  
na Parking spaces - \_\_\_\_\_ Required \_\_\_\_\_  
na Loading spaces - \_\_\_\_\_ Required \_\_\_\_\_  
na Driveway Permit required: Yes \_\_\_\_\_ No \_\_\_\_\_  
na Paving requirement met: Yes \_\_\_\_\_ No \_\_\_\_\_  
na Multi-family uses: Lot Area: \_\_\_\_\_ Required \_\_\_\_\_  
na Multi-family uses: Number of units \_\_\_\_\_

**Accessory Buildings**

Side setback \_\_\_\_\_ Ft. (3 ft. min., more if in side yard)  
 Rear setback \_\_\_\_\_ Ft. (3 ft. minimum)  
 \_\_\_\_\_ Distance from primary structure or other structure (5 ft. min.)  
 \_\_\_\_\_ Percent of rear yard \_\_\_\_\_ % (30% max)  
 \_\_\_\_\_ Height \_\_\_\_\_ Ft. (max 15 ft. mean height)  
 \_\_\_\_\_ Square footage \_\_\_\_\_ (900 s.f. maximum)  
 \_\_\_\_\_ Driveway Permit required: Yes \_\_\_\_\_ No \_\_\_\_\_  
 \_\_\_\_\_ Paving requirement met: Yes \_\_\_\_\_ No \_\_\_\_\_

**Aesthetics and Visuals**

Review by Site Plan Review Bd. Yes \_\_\_\_\_ No \_\_\_\_\_ NA \_\_\_\_\_  
 Screening of dumpsters: Yes \_\_\_\_\_ No \_\_\_\_\_ NA \_\_\_\_\_  
 Submission of signage plans: Yes \_\_\_\_\_ No \_\_\_\_\_ NA \_\_\_\_\_  
 Proposed landscaping: Yes \_\_\_\_\_ No \_\_\_\_\_ NA \_\_\_\_\_  
 Elevations for site plan review: Yes \_\_\_\_\_ No \_\_\_\_\_ NA \_\_\_\_\_

**Engineering**

9) Will use encroach upon any easements: Yes  No

A. If so which ones \_\_\_\_\_

Will use encroach upon any sewers: Yes  No

10) Is the use in the floodplain: Yes  No  Zone "B" 500 yr Flood Zone

A. Will it comply with all floodplain standards? (Please provide details)

Yes  No  FEMA FIRM # 190200-0002B

Details: Property is in a 500 yr. Flood Zone

11) Locate nearest and proposed fire hydrants: Yes  No  NA

12) Detailed storm water management plan: Yes  No  NA

13) Traffic circulation and parking plan: Yes  No  NA

14.) Are sidewalks required to be installed: Yes  No  NA

15.) Entrance permit application Yes  No  NA

**Action**

**Zoning Comments:**

\_\_\_\_\_ Site plan review required by Chapter 5, Zoning Ordinance of 1998.

\_\_\_\_\_ Date Approved \_\_\_\_\_ Attach Requirements.

\_\_\_\_\_ Variance granted \_\_\_\_\_

\_\_\_\_\_ Other: \_\_\_\_\_

Zoning Officer approval  Date: 12-16-03

**Public Works Comments:**

Public Works approval  Date: 12/16/03

CITY OF MARSHALLTOWN, IOWA  
 BUILDING DEPARTMENT  
 APPLICATION FOR BUILDING PERMIT

DATE Dec 10 2003

OWNER'S NAME Lonnie Hogeland PHONE. 641-752-0027  
 ADDRESS OF PROPOSED CONSTRUCTION 1408 East Main St.  
 GENERAL CONTRACTOR K-Van Construction PHONE. 641-648-4122  
 ADDRESS Box 6666 Iowa Falls Ia. 50126  
 IOWA REGISTRATION NUMBER 81401-03  
 LIABILITY INSURANCE CARRIER Acuity  
 CURRENT CERTIFICATE OF INSURANCE ON FILE? YES  NO   
 ELECTRICAL CONTRACTOR NA  
 PLUMBING CONTRACTOR NA  
 MECHANICAL CONTRACTOR NA

#21968  
 12/18/03

DESCRIPTION OF WORK CHECK  
 APPROPRIATE SPACE

NEW \_\_\_\_\_ REPAIR \_\_\_\_\_  
 ALTERATION \_\_\_\_\_ REMODEL \_\_\_\_\_  
 ENLARGE  DEMOLISH \_\_\_\_\_  
 SATELLITE \_\_\_\_\_  
 BUILDING USE: Storage  
 DESCRIBE SCOPE OF WORK:  
attach lean-to on to  
existing

SIZE 18 x 80 SQ. FT. 1440  
 NUMBER OF STORIES 1

BASEMENT NA CRAWL SPACE NA  
 CELLAR NA OTHER NO

SPECIFICATIONS

FOUNDATION  
 MATERIAL & SIZE Column-poured  
 FOOTING SIZE \_\_\_\_\_  
 PIERS (NUMBER & SIZE) 12- 8"X18" poured.  
 DEPTH IN GROUND 48"

| FRAME          | SIZE         | SPACING       | SPAN             |
|----------------|--------------|---------------|------------------|
| GIRDERS-BEAMS  | <u>NA</u>    |               |                  |
| FLOOR JOIST    | <u>NA</u>    |               |                  |
| RAFTERS        | <u>X</u>     | <u>12x16"</u> | <u>8'oc. 18"</u> |
| EXTERIOR WALLS | <u>steel</u> |               |                  |
| INTERIOR WALLS |              |               |                  |
| CEILING JOIST  | <u>2x6</u>   | <u>32"</u>    | <u>8'</u>        |
| SUBFLOOR       | <u>NA</u>    |               |                  |
| ROOF PITCH     | <u>2.5</u>   | <u>in 12</u>  |                  |

THIS FORM IS TO ACCOMPANY REQUIRED PLANS, FLOOR PLANS, ELEVATIONS, CROSS SECTION DETAILS AND OTHER INFO AS MAY BE REQUIRED.

COVERINGS - SPECIFY TYPE & THICKNESS  
 INTERIOR WALL \_\_\_\_\_  
 EXTERIOR WALL steel  
 CEILING NA  
 ROOFING steel

APPLICANT'S SIGNATURE  
  
 THIS IS ONLY AN APPLICATION--WORK IS NOT TO BE STARTED UNTIL A BUILDING PERMIT IS GRANTED.

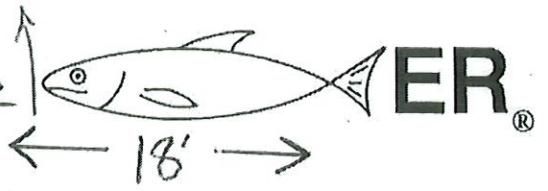
MISCELLANEOUS INFORMATION  
hester uni-frame system

ESTIMATE COST OF CONSTRUCTION (TO INCLUDE LABOR, MATERIALS, PLUMBING, ELECTRICAL, MECHANICAL ETC.)  
 \$ 10,422.00

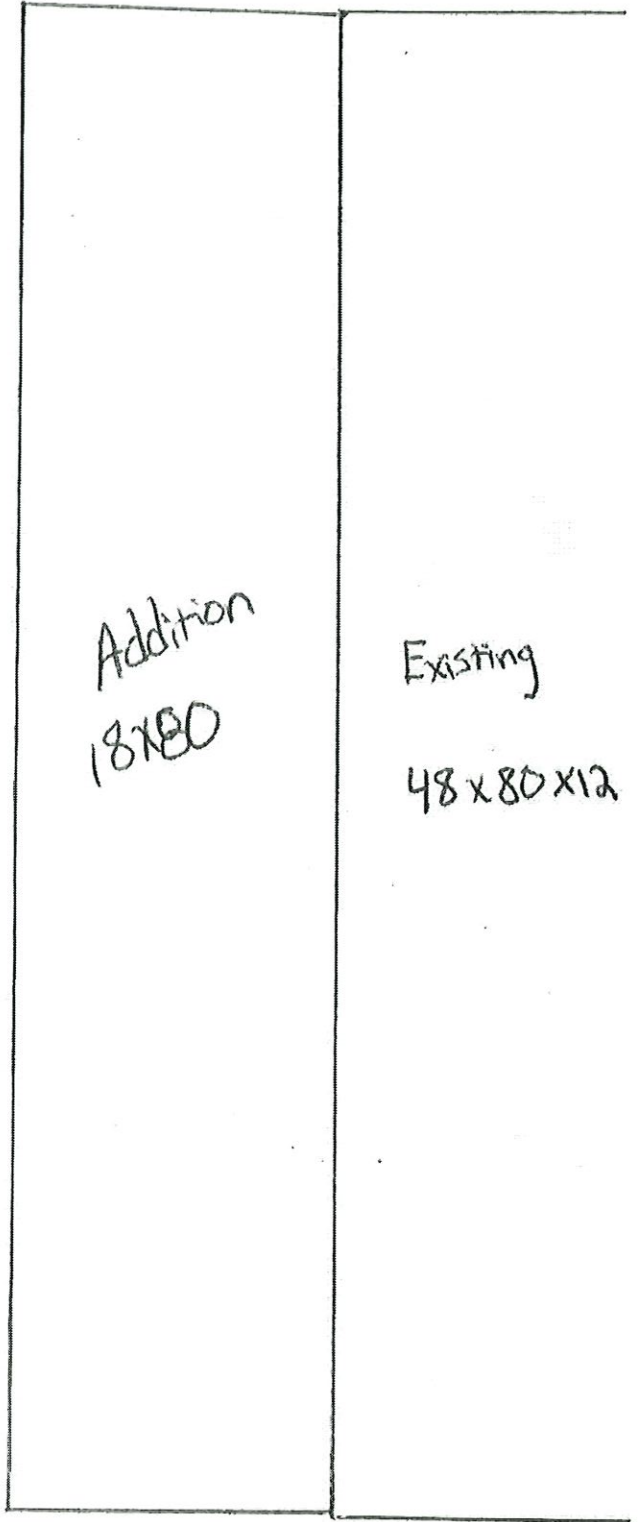
\$18,000.00  
\$293.00



↑  
Property line  
2 blocks



Hogeland Auto Plaza.  
641-752-0027



~~Building Permit Number 21968~~  
~~City Building Permit 12-18-03~~  
~~For Marshal [Signature]~~  
These plans have been reviewed by the above City Official and found to be in compliance except as otherwise noted. The issuance of this permit is not an approval of project or project design. It is the responsibility of the applicant to obtain all necessary permits and approvals from the City of Des Moines.

1 block  
to prop  
line

Scale 1" = 10'

Property line  
1 block

Property line  
4' from east sidewalk

K-VAN CONSTRUCTION CO., INC.

Box 666 • Iowa Falls, Iowa 50126  
Phone 641-648-4122 • FAX 641-648-4971 • 1-800-735-4122



**Lester Building Systems**  
 A Division of Butler Manufacturing Company  
 1111 Second Avenue South • Lester Prairie, MN 55354  
 Phone (320) 395-2531 • Fax (320) 395-2969  
 www.lesterbuildings.com

December 8, 2003

K-Van Construction Co.  
 515 Cadet Road  
 P.O. Box 666  
 Iowa Falls, IA 50126

Re: Lonnie Hogeland  
 Hogeland Auto Plaza  
 1408 East Main  
 Marshalltown, IA 50158

Building Description: 18' x 80' x 8' Lean-to Addition  
 Lester Order: #114576

To Whom It May Concern:

Please accept this letter as our certification that the Lester components of the subject building are designed in accordance with the National Design Specification for Wood Construction (NDS). The building is attached to the side of a 48' x 80' x 12' Lester Building that was constructed in 2000.

Loads applied to the building are in accordance with the 1997 edition of the Uniform Building Code (UBC) and the Iowa State Building Code 900.0. The building is designed for a 30 psf roof live load and an 80 mph exposure B wind load.

The allowable soil bearing pressure is assumed to be 3500 psf.

The standard Lester components when properly erected in accordance with the erection drawings as supplied, and using the components furnished, will meet the above loading requirements without exceeding the allowable working stress. This certification does not cover field modifications or design of materials not furnished by Lester Building Systems.

Sincerely,

*John Dierauer*  
 John Dierauer, P.E.  
 Structural Engineer  
 Lester Building Systems

Encl:  
 Cc: Order File #114576



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Signature: *John Dierauer*  
 John Dierauer

Date: 12/08/03 License number: 9632  
 My license renewal date is December 31, 2004

Pages or sheets covered by this seal:  
 This letter & rafter design calcs 1 to 3



**Lester Building Systems**  
A Division of Butler Manufacturing Company  
1111 Second Avenue South • Lester Prairie, MN 55354  
Phone (320) 395-2531 • Fax (320) 395-2969  
www.lesterbuildings.com

December 8, 2003

K-Van Construction Co.  
515 Cadet Road  
P.O. Box 666  
Iowa Falls, IA 50126

Re: Lonnie Hogeland  
Hogeland Auto Plaza  
1408 East Main  
Marshalltown, IA 50158

Building Description: 18' x 80' x 8' Lean-to Addition  
Lester Order: #114576

To Whom It May Concern:

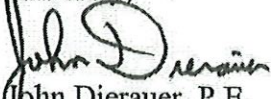
Please accept this letter as our certification that the Lester components of the subject building are designed in accordance with the National Design Specification for Wood Construction (NDS). The building is attached to the side of a 48' x 80' x 12' Lester Building that was constructed in 2000.

Loads applied to the building are in accordance with the 1997 edition of the Uniform Building Code (UBC) and the Iowa State Building Code 900.0. The building is designed for a 30 psf roof live load and an 80 mph exposure B wind load.

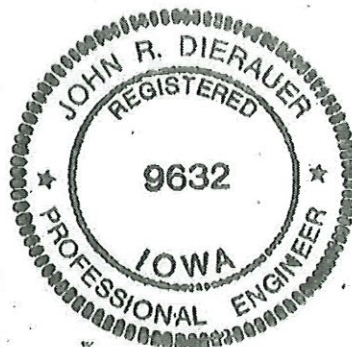
The allowable soil bearing pressure is assumed to be 3500 psf.

The standard Lester components when properly erected in accordance with the erection drawings as supplied, and using the components furnished, will meet the above loading requirements without exceeding the allowable working stress. This certification does not cover field modifications or design of materials not furnished by Lester Building Systems.


Sincerely,

  
John Dierauer, P.E.  
Structural Engineer  
Lester Building Systems

Encl:  
Cc: Order File #114576



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Signature:   
John Dierauer  
Date: 12/08/03 License number: 9632  
My license renewal date is December 31, 2004

Pages or sheets covered by this seal:  
This letter & rafter design calcs 1 to 3

Hogeland Body Shop  
1408 E. Main St.  
Martshalltown, IA 50158

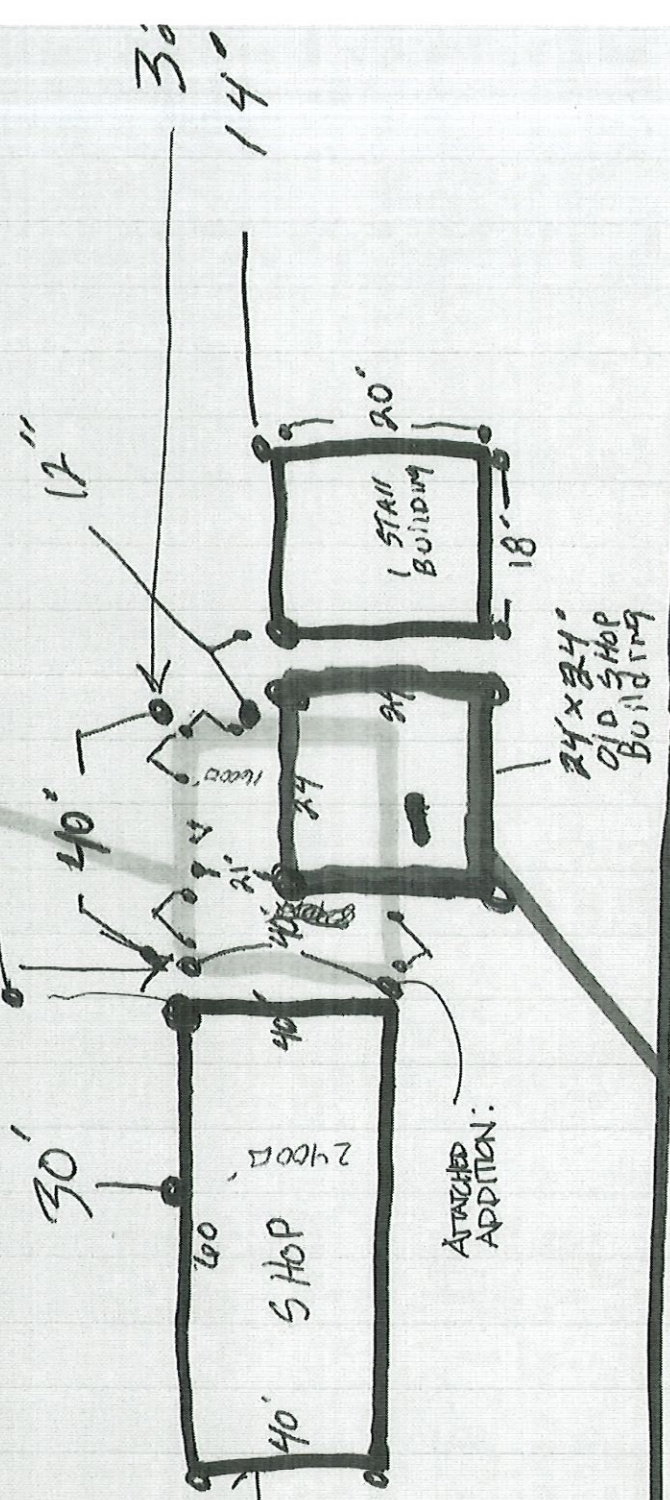
EAST BOUNDARY LINE

752 0027  
LONNIE HOGELAND  
ORZYLE HOGELAND

1408  
House

1408 E. MAIN ST.

NEW BUILDING  
NEW PROJECT



New Building  
40' x 40' x 12' sidewalk  
With 2- 12' x 12' DOORS  
With 2 10' x 12' DOORS  
With 1 WALK IN DOOR

OLD  
BUILDING  
TO BE TORN  
DOWN

RECEIVED JUN 17 1996



Lester Building Systems  
A Division of Buller Manufacturing Company  
P.O. Box 37 • Lester Prairie, MN 55354  
Phone (612) 395-2531 • Fax (612) 395-2969

August 6, 1996

Mr. Todd Fisher  
K Van Construction  
Highway 65  
Iowa Falls, Iowa 50126

RE: Lonnie Hogeland Job  
40 x 40 x12' UNI-I Addition  
Marshalltown, Iowa

Dear Mr. Fisher,

This letter is to certify that Lester Building Systems will design the building referenced above in accordance with the 1994 edition of the Uniform Building Code. The design loads and site categories used will be as shown below:

**Soil:**

3000 PSF allowable soil bearing pressure (assumed.)

**Snow:**

30 PSF roof design snow load

Snow exposure coefficient,  $C_e$ , of 0.7 (not in a densely forested or sheltered area.)

**Wind:**

80 MPH basic wind speed

Wind Exposure B (urban, suburban or wooded area.)

**Use Group:**

Group S (storage)

**Construction Type:**

Type VN (combustible, unprotected)

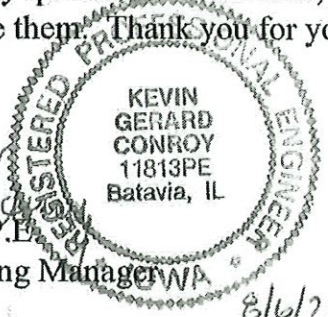
Lester Building Systems will provide a set of construction drawings for this building. The structural building components, with the exception of the concrete, will be provided by Lester Building Systems. The building will be erected by K Van Construction.

Should you have any questions or concerns, please contact us as soon as possible so that we may resolve them. Thank you for your assistance with this project.

Very truly yours,

*Kevin G. Conroy*  
Kevin G. Conroy, P.E.

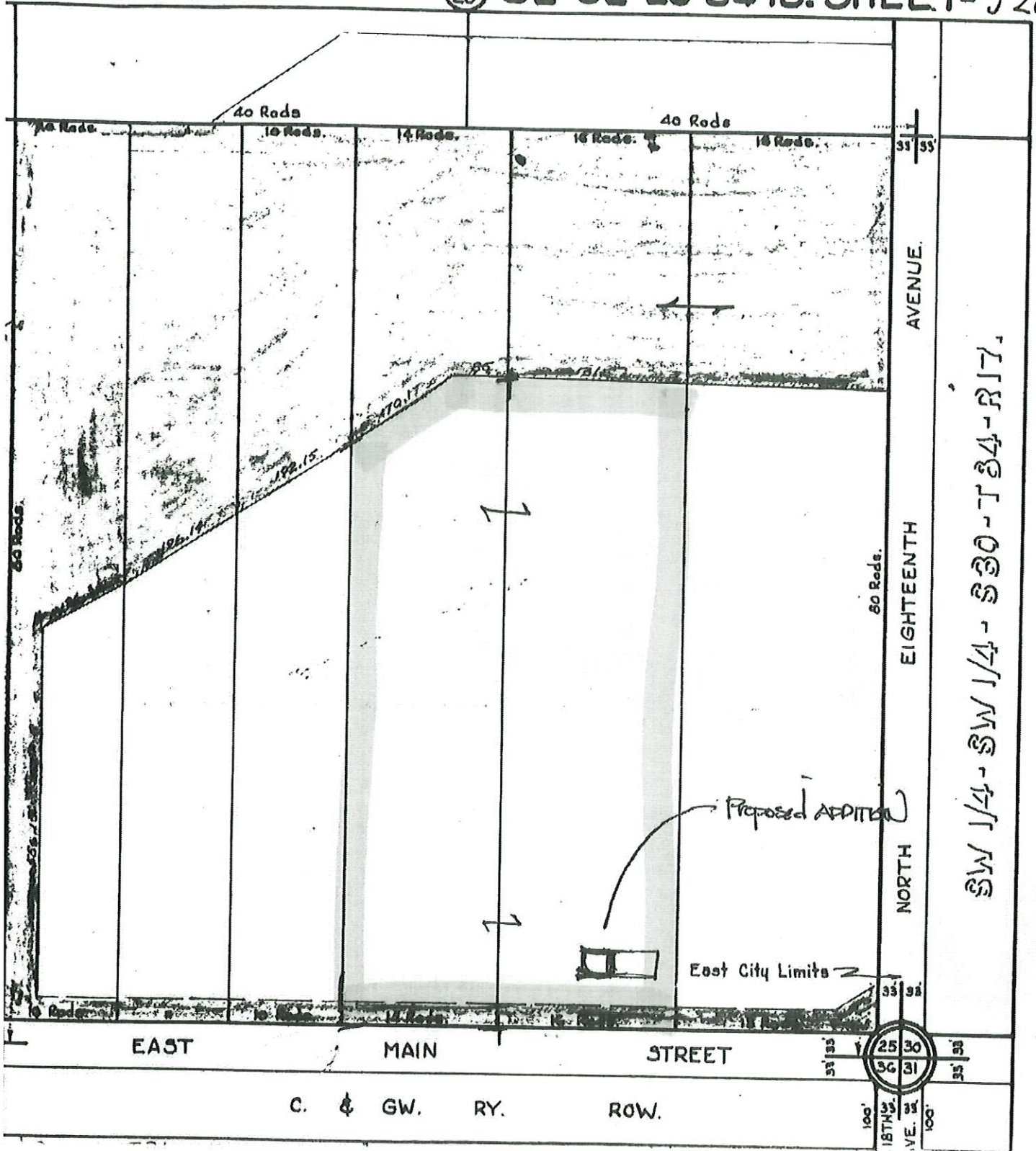
Regional Engineering Manager



8/6/26

copy file  
John Taylor

(20) 06 06 25 0410. UNCL-1-120

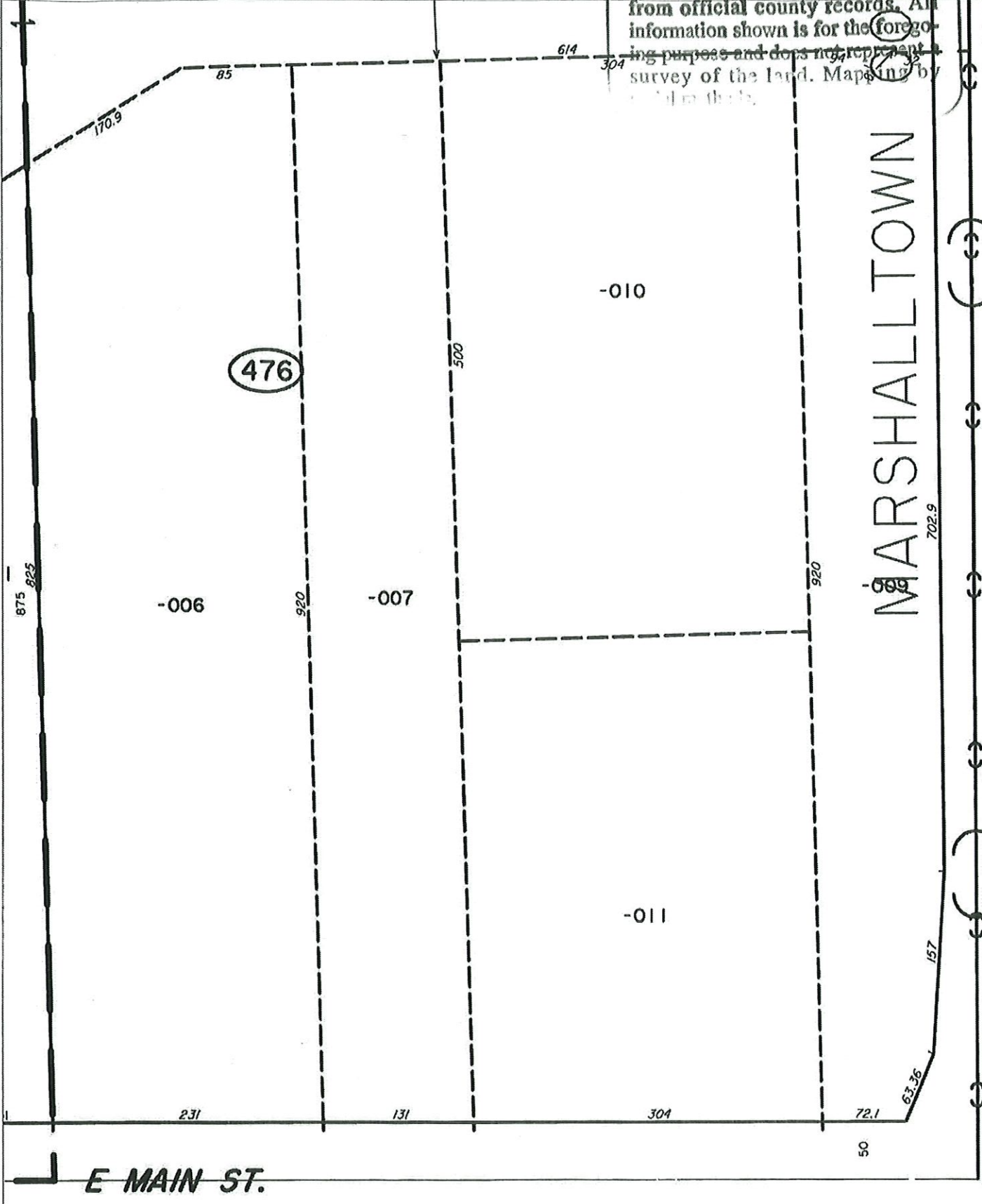


RECEIVED JUN 17 1996

These tax maps were compiled for assessment and tax information, from official county records. All information shown is for the foregoing purpose and does not represent a survey of the land. Mapping by [unclear]

f:\gr\adgn\0725-.dgn Jun. 12. 1996 15:00:01

N 1811



CITY OF MARSHALLTOWN, IOWA  
 BUILDING DEPARTMENT  
 APPLICATION FOR BUILDING PERMIT

DATE \_\_\_\_\_

OWNER'S NAME Sonnie Hogeland PHONE 752 0027  
 ADDRESS OF PROPOSED CONSTRUCTION \_\_\_\_\_  
 GENERAL CONTRACTOR Sonnie Hogeland PHONE \_\_\_\_\_  
 ADDRESS 1408 East Main Street  
 IOWA REGISTRATION NUMBER \_\_\_\_\_ EXPIRATION DATE \_\_\_\_\_  
 LIABILITY INSURANCE CARRIER \_\_\_\_\_  
 CURRENT CERTIFICATE OF INSURANCE ON FILE? YES \_\_\_\_\_ NO \_\_\_\_\_  
 ELECTRICAL CONTRACTOR \_\_\_\_\_  
 PLUMBING CONTRACTOR ?  
 MECHANICAL CONTRACTOR \_\_\_\_\_

DESCRIPTION OF WORK CHECK  
 APPROPRIATE SPACE

NEW  REPAIR \_\_\_\_\_  
 ALTERATION \_\_\_\_\_ REMODEL \_\_\_\_\_  
 ENLARGE \_\_\_\_\_ DEMOLISH \_\_\_\_\_  
 SATELLITE \_\_\_\_\_  
 BUILDING USE: office, 24' x 30'  
 DESCRIBE SCOPE OF WORK:  
East wall P.L. fire wall  
South wall sheetrock  
West wall sheetrock  
North sheetrock siding steel  
 SIZE 24' X 30' SQ. FT. 720  
 NUMBER OF STORIES \_\_\_\_\_  
 BASEMENT \_\_\_\_\_ CRAWL SPACE \_\_\_\_\_  
 CELLAR \_\_\_\_\_ OTHER  SLAB

SPECIFICATIONS

8" x 42" w/2#4 REBAR TIED IN PLACE  
 FOUNDATION  
 MATERIAL & SIZE \_\_\_\_\_  
 FOOTING SIZE 8" x 42"  
 PIERS (NUMBER & SIZE) \_\_\_\_\_  
 DEPTH IN GROUND \_\_\_\_\_  
 FRAME SIZE, SPACING SPAN  
TREATED PLATE w/anchors  
 GIRDERS-BEAMS \_\_\_\_\_  
 FLOOR JOIST \_\_\_\_\_  
 RAFTERS Truss 24" o.c. w/30/16 snow load minimum  
 EXTERIOR WALLS 2x4 16" o.c.  
 INTERIOR WALLS 2x4 16" o.c.  
 CEILING JOIST TRUSSES  
 SUBFLOOR Concrete  
 ROOF PITCH 4/12  
DOUBLE TOP PLATE - 3 STUDS PER CORNER  
PLYWOOD / OSB CORNER BRACING

THIS FORM IS TO ACCOMPANY REQUIRED PLANS, FLOOR PLANS, ELEVATIONS, CROSS SECTION DETAILS AND OTHER INFO AS MAY BE REQUIRED.

COVERINGS - SPECIFY TYPE & THICKNESS

INTERIOR WALL sheetrock 5/8"  
 EXTERIOR WALL Steel 5/8"  
 CEILING sheetrock  
 ROOFING Steel w/durlins  
 HEADERS ABOVE OPENINGS \_\_\_\_\_

APPLICANT'S SIGNATURE \_\_\_\_\_

MISCELLANEOUS INFORMATION

East wall on P.L. ONE HOUR FIREWALL  
to be fire wall

THIS IS ONLY AN APPLICATION - WORK IS NOT TO BE STARTED UNTIL A BUILDING PERMIT IS GRANTED.

CALL FOR: FOOTING INSPECTION  
FRAMING INSPECTION  
DRYWALL/FIREWALL INSPECTION  
FINAL INSPECTION  
20 MINUTE RATED LABELED DOOR BETWEEN  
SHOP & OFFICE

ESTIMATE COST OF CONSTRUCTION (TO INCLUDE LABOR, MATERIALS, PLUMBING, ELECTRICAL, MECHANICAL ETC.)

\$ \_\_\_\_\_

\$18,000.00  
 \$293.00

#21590

HBS  
 HBS

CITY OF MARSHALLTOWN, IOWA

COMMERCIAL, MULTI-FAMILY, INDUSTRIAL, INSTITUTIONAL USE  
CITY CHECK OFF LIST

7-25-476-007

Base Information

- 1) Applicants Name: Hogeland Body Shop
- 2) Address of Request: 1408 E Main St
- 3) Zone: M-2
- 4) Application Use: New storage building
- 5) Map Number J20 Legal Description: 25.84.18 W 131' OF E 18 ACRES  
SE SE EX BEG NW COR OF W' 131' OF 18 ACRES THEN E 131' S 35'  
Zoning W 131' THEN N 350' TO PDB

6) Check all those that are met for primary lot use if that is the intention of permit. (Check NA if it does not apply)

- NA
- Use:(list) \_\_\_\_\_
- Front - 360 Ft.
- Side - 0 Ft.
- Rear - 921 Ft.
- Height - 12 Ft.
- N/A Parking: Required No. \_\_\_\_ Proposed No. \_\_\_\_
- N/A Loading: Required No. \_\_\_\_ Proposed No. \_\_\_\_

- 7) If it is an accessory please answer the following:
- Paving in place*
- Conforms to side \_\_\_\_\_ Ft.
  - Conforms to rear \_\_\_\_\_ Ft.
  - Conforms to percent of the lot \_\_\_\_\_ %
  - Conforms to height \_\_\_\_\_ Ft.

- 8) Aesthetics and visuals
- Screening of dumpsters: Yes \_\_\_\_\_ No \_\_\_\_\_ NA X
  - Submission of signage plans: Yes \_\_\_\_\_ No \_\_\_\_\_ NA X
  - Proposed landscaping: Yes \_\_\_\_\_ No \_\_\_\_\_ NA X
  - Elevations for site plan review: Yes \_\_\_\_\_ No \_\_\_\_\_ NA X

**Engineering**

- 9) Will use encroach upon any easements: Yes \_\_\_\_\_ No   
A. If so which ones \_\_\_\_\_  
Will use encroach upon any sewers: Yes \_\_\_\_\_ No
  
- 10) Is the use in the floodplain: Yes \_\_\_\_\_ No   
A. Will it comply with all floodplain standards? (Please provide details) Yes \_\_\_\_\_ No \_\_\_\_\_  
Details: \_\_\_\_\_
  
- 11) Locate nearest and proposed fire hydrants:  
Yes \_\_\_\_\_ No \_\_\_\_\_ NA
  
- 12) Detailed storm water management plan:  
Yes  No \_\_\_\_\_ NA \_\_\_\_\_
  
- 13) Traffic circulation and parking plan:  
Yes \_\_\_\_\_ No \_\_\_\_\_ NA

**Action**

- 14) Indicate Zoning Action.
  - A.  Meets all zoning requirements.
  - B. \_\_\_\_\_ Needs variance for \_\_\_\_\_ Approved \_\_\_\_\_
  - C. \_\_\_\_\_ Needs to be rezoned.
  - D. \_\_\_\_\_ Other: (list) \_\_\_\_\_
  - E. \_\_\_\_\_ Site plan review required by Chapter 5, Zoning Ordinance of 1998. Approved \_\_\_\_\_  
Requirements: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

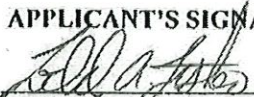
Zoning Officer approval W. Grotz  
Date: 6/21/00

City Engineer approval Wayne Blanton  
Date: 6-21-00

CITY OF MARSHALLTOWN, IOWA  
BUILDING DEPARTMENT  
APPLICATION FOR BUILDING PERMIT

DATE June 13, 2000

OWNER'S NAME Lonnie Hogeland PHONE. 515-752-0027  
 ADDRESS OF PROPOSED CONSTRUCTION 1408 East Main Street  
 GENERAL CONTRACTOR K-Van Construction Co., Inc. PHONE. 515-648-4122  
 ADDRESS P.O. Box 666 Iowa Falls, Iowa 50126  
 IOWA REGISTRATION NUMBER 54226-99  
 LIABILITY INSURANCE CARRIER Heritage Insurance  
 CURRENT CERTIFICATE OF INSURANCE ON FILE? YES  NO   
 ELECTRICAL CONTRACTOR N/A  
 PLUMBING CONTRACTOR N/A  
 MECHANICAL CONTRACTOR N/A

| DESCRIPTION OF WORK CHECK<br>APPROPRIATE SPACE   | SPECIFICATIONS   |         |        |         |      |               |     |  |  |             |     |  |  |                            |     |        |     |                |     |     |        |                |     |  |  |               |     |        |  |          |     |  |  |            |      |  |  |
|--|--|---------|--------|---------|------|---------------|-----|--|--|-------------|-----|--|--|----------------------------|-----|--------|-----|----------------|-----|-----|--------|----------------|-----|--|--|---------------|-----|--------|--|----------|-----|--|--|------------|------|--|--|
| NEW <input checked="" type="checkbox"/> REPAIR _____<br>ALTERATION _____ REMODEL _____<br>ENLARGE _____ DEMOLISH _____<br>SATELLITE _____<br>BUILDING USE: <u>Storage</u><br>DESCRIBE SCOPE OF WORK:<br><u>Construct metal building on</u><br><u>owner's level site.</u> | <b>FOUNDATION</b><br>MATERIAL & SIZE <u>Ready Mix &amp; column</u><br>FOOTING SIZE <u>18" X 8" &amp; 22" X 8"</u><br>PIERS (NUMBER & SIZE) <u>34 - 18"x8" &amp; 22"x8"</u><br>DEPTH IN GROUND <u>4'</u>  |         |        |         |      |               |     |  |  |             |     |  |  |                            |     |        |     |                |     |     |        |                |     |  |  |               |     |        |  |          |     |  |  |            |      |  |  |
| SIZE <u>48 X 80</u> SQ. FT. <u>3,840</u><br>NUMBER OF STORIES <u>1</u>   | <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">FRAME</th> <th style="text-align: center;">SIZE</th> <th style="text-align: center;">SPACING</th> <th style="text-align: center;">SPAN</th> </tr> </thead> <tbody> <tr> <td>GIRDERS-BEAMS</td> <td style="text-align: center;">N/A</td> <td></td> <td></td> </tr> <tr> <td>FLOOR JOIST</td> <td style="text-align: center;">N/A</td> <td></td> <td></td> </tr> <tr> <td><del>TRUSSES</del> Trusses</td> <td style="text-align: center;">48'</td> <td style="text-align: center;">8'o.c.</td> <td style="text-align: center;">48'</td> </tr> <tr> <td>EXTERIOR WALLS</td> <td style="text-align: center;">2x6</td> <td style="text-align: center;">32"</td> <td style="text-align: center;">8'o.c.</td> </tr> <tr> <td>INTERIOR WALLS</td> <td style="text-align: center;">N/A</td> <td></td> <td></td> </tr> <tr> <td>CEILING JOIST</td> <td style="text-align: center;">2x4</td> <td style="text-align: center;">8'o.c.</td> <td></td> </tr> <tr> <td>SUBFLOOR</td> <td style="text-align: center;">N/A</td> <td></td> <td></td> </tr> <tr> <td>ROOF PITCH</td> <td style="text-align: center;">4:12</td> <td></td> <td></td> </tr> </tbody> </table> | FRAME   | SIZE   | SPACING | SPAN | GIRDERS-BEAMS | N/A |  |  | FLOOR JOIST | N/A |  |  | <del>TRUSSES</del> Trusses | 48' | 8'o.c. | 48' | EXTERIOR WALLS | 2x6 | 32" | 8'o.c. | INTERIOR WALLS | N/A |  |  | CEILING JOIST | 2x4 | 8'o.c. |  | SUBFLOOR | N/A |  |  | ROOF PITCH | 4:12 |  |  |
| FRAME  | SIZE   | SPACING | SPAN   |         |      |               |     |  |  |             |     |  |  |                            |     |        |     |                |     |     |        |                |     |  |  |               |     |        |  |          |     |  |  |            |      |  |  |
| GIRDERS-BEAMS  | N/A  |         |        |         |      |               |     |  |  |             |     |  |  |                            |     |        |     |                |     |     |        |                |     |  |  |               |     |        |  |          |     |  |  |            |      |  |  |
| FLOOR JOIST  | N/A  |         |        |         |      |               |     |  |  |             |     |  |  |                            |     |        |     |                |     |     |        |                |     |  |  |               |     |        |  |          |     |  |  |            |      |  |  |
| <del>TRUSSES</del> Trusses   | 48'  | 8'o.c.  | 48'    |         |      |               |     |  |  |             |     |  |  |                            |     |        |     |                |     |     |        |                |     |  |  |               |     |        |  |          |     |  |  |            |      |  |  |
| EXTERIOR WALLS   | 2x6  | 32"     | 8'o.c. |         |      |               |     |  |  |             |     |  |  |                            |     |        |     |                |     |     |        |                |     |  |  |               |     |        |  |          |     |  |  |            |      |  |  |
| INTERIOR WALLS   | N/A  |         |        |         |      |               |     |  |  |             |     |  |  |                            |     |        |     |                |     |     |        |                |     |  |  |               |     |        |  |          |     |  |  |            |      |  |  |
| CEILING JOIST  | 2x4  | 8'o.c.  |        |         |      |               |     |  |  |             |     |  |  |                            |     |        |     |                |     |     |        |                |     |  |  |               |     |        |  |          |     |  |  |            |      |  |  |
| SUBFLOOR   | N/A  |         |        |         |      |               |     |  |  |             |     |  |  |                            |     |        |     |                |     |     |        |                |     |  |  |               |     |        |  |          |     |  |  |            |      |  |  |
| ROOF PITCH   | 4:12   |         |        |         |      |               |     |  |  |             |     |  |  |                            |     |        |     |                |     |     |        |                |     |  |  |               |     |        |  |          |     |  |  |            |      |  |  |
| BASEMENT <u>N/A</u> CRAWL SPACE <u>N/A</u><br>CELLAR <u>N/A</u> OTHER <u>N/A</u>   | <b>COVERINGS - SPECIFY TYPE &amp; THICKNESS</b><br>INTERIOR WALL <u>N/A</u><br>EXTERIOR WALL <u>Steel</u><br>CEILING <u>N/A</u><br>ROOFING <u>Steel</u>  |         |        |         |      |               |     |  |  |             |     |  |  |                            |     |        |     |                |     |     |        |                |     |  |  |               |     |        |  |          |     |  |  |            |      |  |  |
| THIS FORM IS TO ACCOMPANY REQUIRED<br>PLANS, FLOOR PLANS, ELEVATIONS, CROSS<br>SECTION DETAILS AND OTHER INFO AS<br>MAY BE REQUIRED.<br><br>APPLICANT'S SIGNATURE<br>                 | <b>MISCELLANEOUS INFORMATION</b> <u>\$46,000.00</u><br><u>Uni-Frame I Lester Building \$602.00</u>   |         |        |         |      |               |     |  |  |             |     |  |  |                            |     |        |     |                |     |     |        |                |     |  |  |               |     |        |  |          |     |  |  |            |      |  |  |
| THIS IS ONLY AN APPLICATION--WORK IS<br>NOT TO BE STARTED UNTIL A BUILDING<br>PERMIT IS GRANTED.   |  |         |        |         |      |               |     |  |  |             |     |  |  |                            |     |        |     |                |     |     |        |                |     |  |  |               |     |        |  |          |     |  |  |            |      |  |  |
| ESTIMATE COST OF CONSTRUCTION (TO<br>INCLUDE LABOR, MATERIALS, PLUMBING,<br>ELECTRICAL, MECHANICAL ETC.)<br><u>\$ 25,000.00</u>  |  |         |        |         |      |               |     |  |  |             |     |  |  |                            |     |        |     |                |     |     |        |                |     |  |  |               |     |        |  |          |     |  |  |            |      |  |  |

6-20-2000

J, Jim Lanterna (9A)

---

Agree TO LET THE HOGELAND'S  
LYHE AND LORRAINE HOGELAND SR.

BUILD A BUILDING DIRECTLY ON  
THE PROPERTY LINE WITH OUT  
RAIN GUTTERS KNOWING SOME  
RAIN WATER WILL RUN ON TO  
OUR LAND THE SMALL AMOUNT  
OF WATER SHOULD NOT HARM  
US

THE BUILDING IS  
80 FEET NORTH TO SOUTH

48 FEET EAST TO WEST

HOGELAND BODY SHOP  
1408 E. Main St.  
Marshalltown, IA 50158  
(515) 752-0027

THANK YOU

HOGELAND BODY SHOP

Jim E. Hogeland

X Jim Lanterna

---





Lester Building Systems  
 A Division of Butler Manufacturing Company  
 P.O. Box 19 • Charleston, IL 61920  
 Phone: (217) 348-7676 • Fax: (217) 345-4016

May 18, 2000

Marshalltown Building Department  
 Mr. Scott Riemenschneider  
 Marshalltown, Iowa

RE: 48 x 80 x 12' UNI-I Building  
 Hogeland Body Shop  
 Marshalltown, Iowa  
 Our Project #210378

Dear Mr. Riemenschneider,

The project described above is for use as a commercial building. The applicable design loads and site categories are as indicated below:

**Building Code:**

1997 Uniform Building Code

**Soil:**

3000 psf allowable soil bearing pressure (assumed.)

**Snow:**

30 psf design roof snow load.

**Roof dead load:**

4 psf top chord

5 psf bottom chord.

**Wind:**

80 mph; exposure 'B.'

The structural building components, except concrete floor and footings, are provided by Lester Building Systems. The building will be erected by K-Van Construction of Iowa Falls, Iowa.

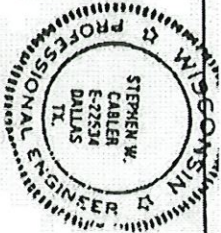
Please give me a call if you have any further questions on this.

Very truly yours,

*Kevin Gerard Conroy*  
 Kevin Gerard Conroy; S.E., P.E.  
 Senior Engineer

|  |   |
|--|---|
|  | I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.            |
|  | <p><i>Kevin Gerard Conroy</i> 5/18/00</p> <hr/> Kevin Gerard Conroy<br>My license renewal date is December 31, 2001<br>Pages or sheets covered by this seal:<br><i>This letter &amp; truss design</i> |

JOB 841683  
 TYPE 1299 23 OF 62  
 9/17/84

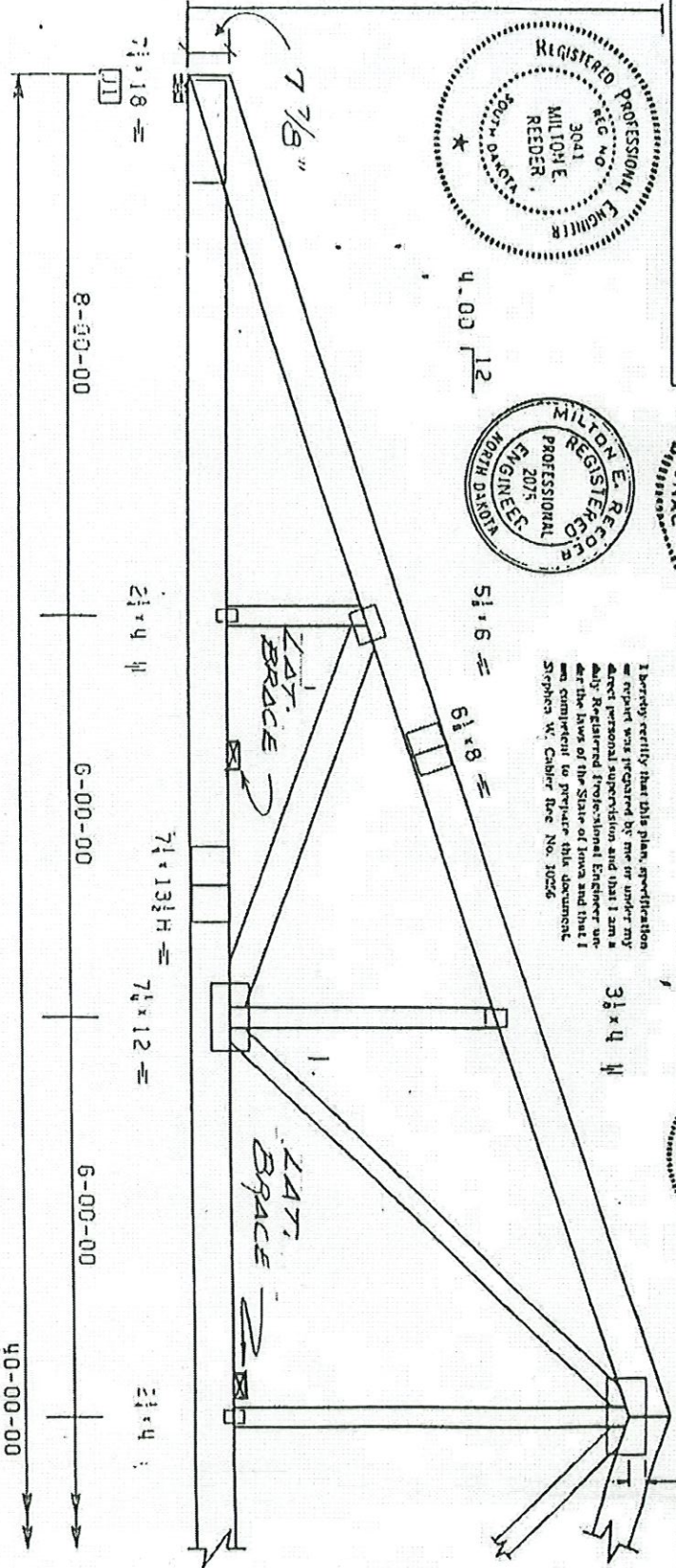


SEP 18 1984  
 Stephen W. Cabler  
 Professional Engineer



I hereby certify that this plan, specification or report was prepared by me or under my direct personal supervision and that I am a duly Registered Professional Engineer under the laws of the State of Iowa and that I am competent to prepare this document.  
 Stephen W. Cabler, No. 20256

7-03-14



TCLL = 3Ø.Ø PSF SPACING = 6-ØØ-ØØ  
 TCUL = 4.Ø PSF INCREASE = 1.Ø5  
 BCUL = Ø.Ø PSF BUTT CUT = Ø 1/4"  
 BCUL = 5.5 PSF  
 MIDWEST MANUFACTURING

REACTIONS (LBS) BRG (IN)  
 J 1 = -474Ø 4.8  
 J 7 = -474Ø 4.8  
 L/DEF = 4Ø' / Ø.77" = 626, CMB = Ø 1/4"  
 2Ø GA. D PLATES 167 PSI NET (MAX)  
 16 GA. H PLATES 137 PSI NET (MAX)  
 \*\* SEE NOTE ON PURLLINS \*\*

CONFORMS TO UBC, ICED 1591, MIS

TOP CHORD - CSR = 0.999  
 2X 8 DN SS KD-15 SYP  
 C 1 = -11991 C 2 = -9743 C 3 = -9743  
 CIØ = 711Ø CI1 = 11376 CI2 = 11376

BOTTOM CHORD - CSR = Ø.842  
 2X 8 DN SS KD-15 SYP  
 W 2 IS 2X 6 NO 2 KD-15 SYP \*EXCEPT\*  
 W 4 IS 2X 4 NO 2 KD-15 SYP  
 W 6 IS 2X 4 NO 2 KD-15 SYP  
 W 8 IS 2X 6 NO 2 KD-15 SYP  
 W 1 = 231 W 3 = -1224 W 5 = 198  
 W 2 = -2334 W 4 = 318Ø

WEBS - CSR = Ø.974  
 2X 4 NO 3 KD-15 SYP

1. TOP CHD PURLLIN SPCG = 24.Ø IN. PURLLINS TO BE DESIGNED BY OTHERS.  
 2. PLATING CONFORMS TO WISCONSIN DILHR NO. 82Ø6Ø2.  
 3. ALL PLATES ARE D PLATES UNLESS OTHERWISE INDICATED.

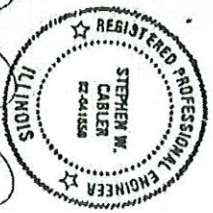
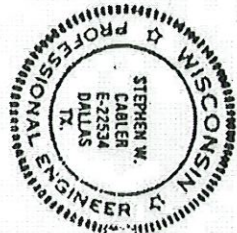
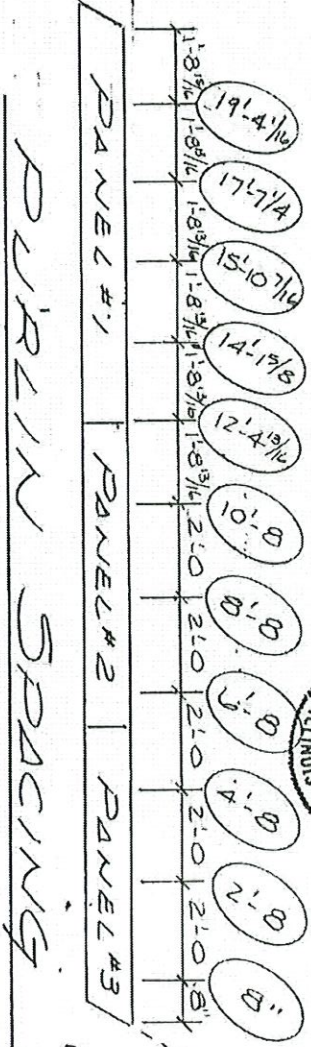
Design valid for use with Hydro-Air connectors only. This truss designed at request and specification of customer as an individual building component to be incorporated into building design at the specification of building designer. Bracing shown is for lateral support of individual web members only. Additional temporary bracing to insure stability during construction is the responsibility of the erector. Additional permanent bracing of the overall structure is the responsibility of the building designer. Top chord must be sheathed throughout or pultrins provided at prescribed spacing. Design and materials are in accordance with latest editions of NDS and TPI specifications. For general guidance regarding fabrication, quality control, storage, delivery and erection, consult the Hydro-Air Connector Manual, Hydro-Air Connector Catalog, and Recommended Code of Standard Practice.

HYDRO-AIR ENGINEERING, INC.

P.O. BOX 7388  
 ST. LOUIS, MISSOURI 63177

JOB 841683  
 TYPE 1299 9/17/84  
 23A OF 62

| JOINT    | CHORD AREAS   | WEB AREA | WEB AREA | WEB AREA | WEB AREA |
|----------|---------------|----------|----------|----------|----------|
| CJ 1, 7] | 64.59 64.59   | 4.66     | 5.73     |          |          |
| CJ 2, 6] | 13.87         | 3.46     |          |          |          |
| CJ 3, 5] | 4.00          | 7.22     |          |          |          |
| CJ 4]    | 16.92 16.92   | 2.46     |          |          |          |
| CJ10]    | 4.04          | 7.40     |          |          |          |
| CJ11, 9] | 28.25         | 3.46     |          |          |          |
| CJ12, 8] | 4.04          |          |          |          |          |
| CHORD    | CHD AREA (EA) |          |          |          |          |
| LC 2, 5] | 21.52         |          |          |          |          |
| LC 3, 4] | 32.06         |          |          |          |          |
| LC11]    | 32.06         |          |          |          |          |



I hereby certify that this plan, specification or report was prepared by me or under my direct personal supervision and that I am a duly Registered Professional Engineer under the laws of the State of Iowa and that I am competent to prepare this document.  
 Stephen W. Cabler, Reg. No. 10295

Stephen W. Cabler  
 DATE SEP 18 1984  
 1083

Design valid for use with Hydro-Air connectors only. This truss designed at request and specification of customer as an individual building component to be incorporated into building design at the specification of building designer. Bracing shown is for lateral support of individual web members only. Additional temporary bracing to insure stability during construction is the responsibility of the erector. Additional permanent bracing of the overall structure is the responsibility of the building designer. Top chord must be sheathed throughout or purlins provided at prescribed spacing. Design and materials are in accordance with latest editions of NDS and TPI specifications. For general guidance regarding fabrication, quality control, storage, delivery, erection and bracing, consult Quality Control Manual, Bracing of Wood Trusses, and Recommended Code of Standard Practice available from Luss Plate Institute, 100 W. Church Street, Frederick, Maryland 21701. SEE REVERSE SIDE FOR IMPORTANT INFORMATION.



APPLICATION FOR DEMOLITION PERMIT

CITY OF MARSHALLTOWN BUILDING DEPARTMENT

DEMOLITION DEBRIS MUST BE DEPOSITED AT AN APPROVED LANDFILL

Owner of Property: Lonnie Hogeland

Address of Owner: 1408 East Main Street

Demolition Site: 1408 East Main Street

Description of Structure: Wood Frame Building

Demolition Contractor: Con-Struct Inc.

Demolition Contractor's Address: 1710 East Main Street

\*Is the Demolition Site to be used for a parking lot after Demolition? No If yes, the

Zoning Administrator should be contacted for Approval prior to Demolition Permit Issuance.

Utilities Disconnected By: Gas/Electric: N/A

\*Sewer laterals shall be abandoned at the property line by a Licensed Plumber, with the abandonment inspected by the City of Marshalltown Sewer Department.

\*\*Plumber: N/A

\*The Marshalltown Water Works must be notified prior to Demolition for removal of water meter and water service shall be abandoned by a Licensed Plumber and inspected by a Water Works

Inspector: N/A

\*\*Plumber: N/A

Date Demolition Project Will Start: April 26, 2001

Date Demolition Project Will Be Completed: May 26, 2001

Protective Devices: For the safety of the general public, the area of Demolition work must be posted and enclosed with a fence or other means and kept in good order for the entire length of time of the demolition work.

If at any time during Demolition period a serious or dangerous condition exists and is not abated, the City may remove the dangerous condition and charge the cost of such work to the property owner.

Signature Owner/Contractor: Kim Johnson - Con-Struct, Inc.

Liability Insurance Carrier: Koehler Insurance Co.

Permit Number: 21170 Date Issued: April 23, 2001

Building Official: Scott A. Remond

\*Note: all information on this application shall be considered as part of the permit at the time of issuance.

APPLICATION FOR DEMOLITION PERMIT

CITY OF MARSHALLTOWN BUILDING DEPARTMENT

DEMOLITION DEBRIS MUST BE DEPOSITED AT AN APPROVED LANDFILL

Owner of Property: Lonnie Hogeland

Address of Owner: 1406 East Main Street

Demolition Site: 1408 East Main Street

Description of Structure: Wood Frame Building (#1)

Demolition Contractor: Con-Struct Inc.

Demolition Contractor's Address: 1710 East Main Street

\*Is the Demolition Site to be used for a parking lot after Demolition? No  If yes, the Zoning Administrator should be contacted for Approval prior to Demolition Permit Issuance.

Utilities Disconnected By: Gas/Electric: N/A

\*Sewer laterals shall be abandoned at the property line by a Licensed Plumber, with the abandonment inspected by the City of Marshalltown Sewer Department. \*\*Plumber: N/A

\*The Marshalltown Water Works must be notified prior to Demolition for removal of water meter and water service shall be abandoned by a Licensed Plumber and inspected by a Water Works Inspector. \*\*Plumber: N/A

Date Demolition Project Will Start: November 21, 2000

Date Demolition Project Will Be Completed: December 21, 2000

Protective Devices: For the safety of the general public, the area of Demolition work must be posted and enclosed with a fence or other means and kept in good order for the entire length of time of the demolition work.

If at any time during Demolition period a serious or dangerous condition exists and is not abated, the City may remove the dangerous condition and charge the cost of such work to the property owner.

Signature Owner/Contractor: X Con-Struct Inc. By: SJA

Liability Insurance Carrier: Koehler Insurance

Permit Number: 21095 Date Issued: November 20, 2000

Building Official: Scott A. Bennett

\*Note: all information on this application shall be considered as part of the permit at the time of issuance.

APPLICATION FOR DEMOLITION PERMIT

CITY OF MARSHALLTOWN BUILDING DEPARTMENT

DEMOLITION DEBRIS MUST BE DEPOSITED AT AN APPROVED LANDFILL

Owner of Property: Lonnie Hogeland

Address of Owner: 1406 East Main Street

Demolition Site: 1408 East Main Street

Description of Structure: Wood Frame Building (#2)

Demolition Contractor: Con-Struct Inc.

Demolition Contractor's Address: 1710 East Main Street

\*Is the Demolition Site to be used for a parking lot after Demolition? No If yes, the Zoning Administrator should be contacted for Approval prior to Demolition Permit Issuance.

Utilities Disconnected By: Gas/Electric: N/A

\*Sewer laterals shall be abandoned at the property line by a Licensed Plumber, with the abandonment inspected by the City of Marshalltown Sewer Department. \*\*Plumber: N/A

\*The Marshalltown Water Works must be notified prior to Demolition for removal of water meter and water service shall be abandoned by a Licensed Plumber and inspected by a Water Works Inspector. \*\*Plumber: N/A

Date Demolition Project Will Start: November 21, 2000  
Date Demolition Project Will Be Completed: December 21, 2000

Protective Devices: For the safety of the general public, the area of Demolition work must be posted and enclosed with a fence or other means and kept in good order for the entire length of time of the demolition work.

If at any time during Demolition period a serious or dangerous condition exists and is not abated, the City may remove the dangerous condition and charge the cost of such work to the property owner.

Signature Owner/Contractor: X Con-Struct, Inc. By: S.H.  
Liability Insurance Carrier: Koehler Insurance

Permit Number: 21095  
Date Issued: November 20, 2000  
Building Official: Scott A. Pennington

\*Note: all information on this application shall be considered as part of the permit at the time of issuance.

SPECIAL USE PERMIT

Board of Adjustment  
c/o Municipal Building  
Marshalltown, Iowa 50158

Pursuant to the Marshalltown Zoning Ordinance, Article XVI, a Special Use Permit is hereby granted as follows:

1. To the following people: Lyle Hogeland

2. Concerning the following described property (both legal description and local address): 1406 East Main Street, Marshalltown, Iowa 50158

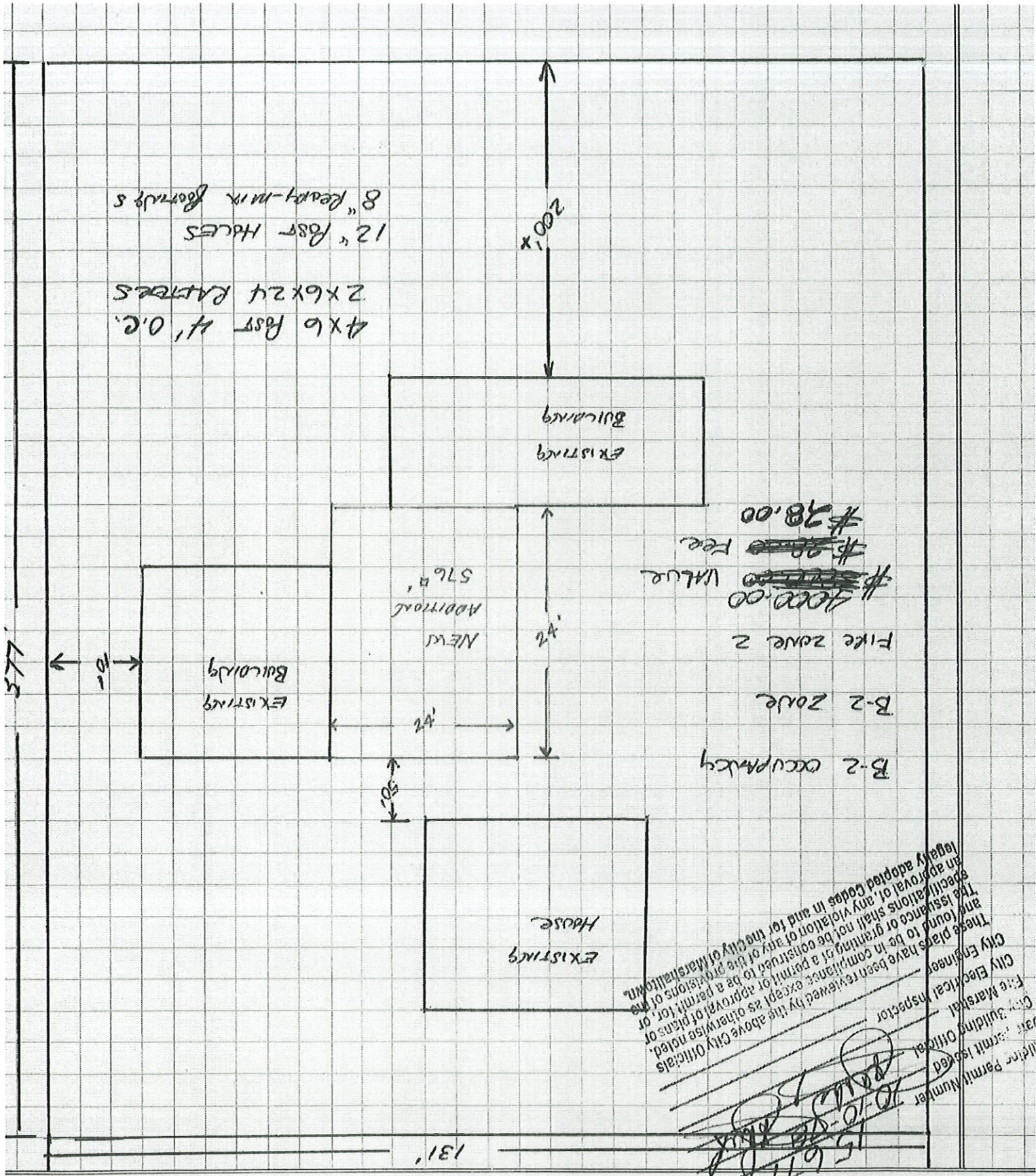
The East 7 acres of the West 22 acres of the Southeast Quarter of the Southeast Quarter of Section 25, Township 84 North, Range 18 West of the 5th P.M., Marshall County, Iowa, except beginning 495 feet East of the Northwest corner, thence East 231 feet, South 350 feet, West 85 feet, Southwest 170.9 feet, North 438.8 feet, to the point of beginning, and except the South 50 feet of the East 7 acres of the West 22 acres.

3. Nature of special use allowed: salvage yard

4. Protective restrictions: Lyle Hogeland is issued a Special Use Permit to operate a salvage yard located at 1406 East Main Street for a four year term and with the same restrictions as the previous permit and must be in full compliance with all city and state regulations

Those to whom this Special Use Permit is granted shall comply with all ordinances and statutes, either federal or state, which shall include but not be limited to those relative to fire protection, electrical installation, signs on the premises, and sanitation.

This Special Use Permit does not run with the land, and therefore, purchasers, lessees, or others using the above-described property shall not have any rights or powers under this Special Use Permit without further action of the Board of Adjustment. Furthermore, those to whom this Special Use Permit is issued shall not extend or further alter the use of the property described above beyond the plans filed with the



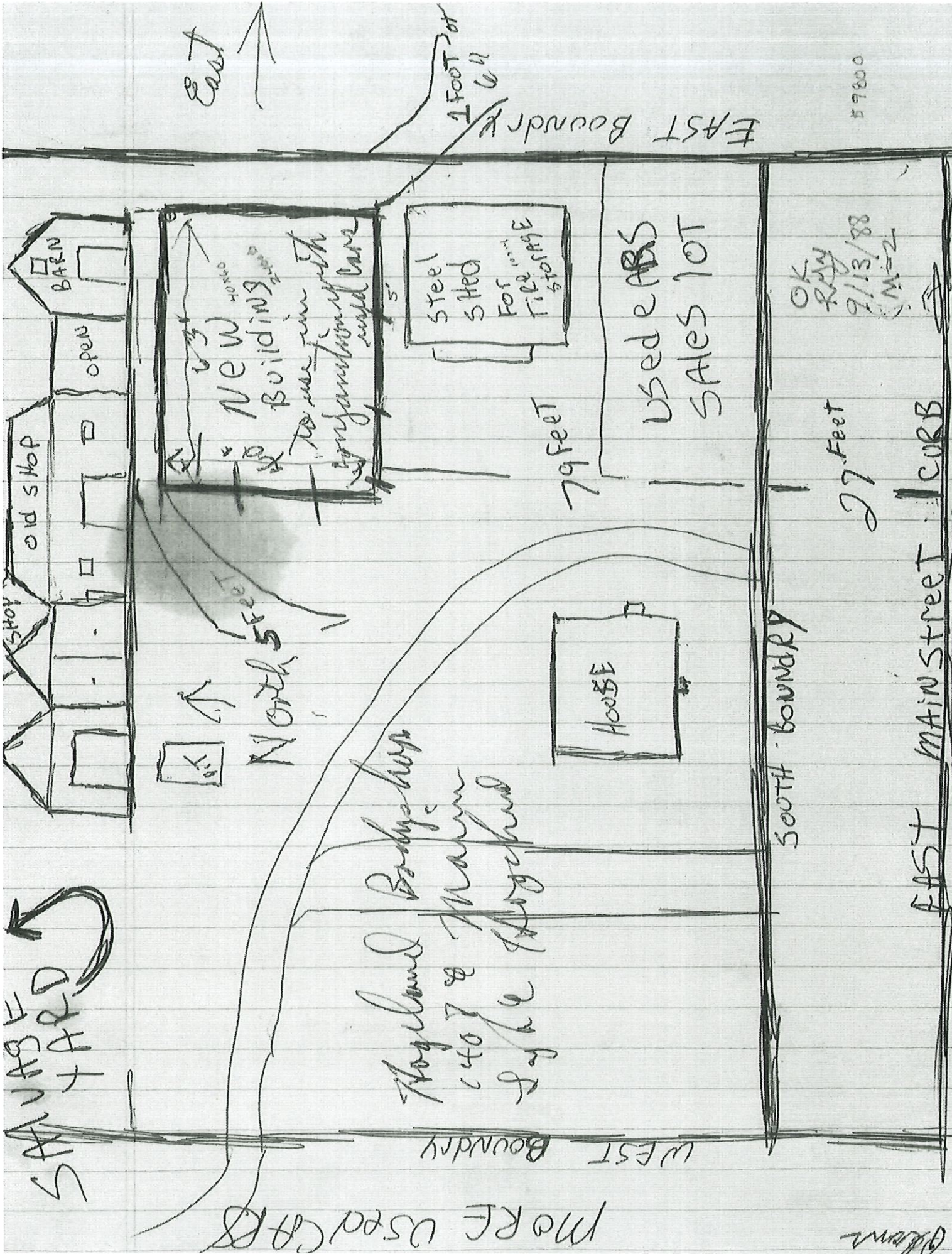
These plans have been reviewed by the above City Officials  
 and found to be in compliance with the provisions of the  
 City Engineering Code and the provisions of the  
 City Electrical Inspector  
 City Marshal  
 City Building Official  
 City Permit Issued  
 Permit Number  
 15679  
 10-10-78  
 10-10-78  
 10-10-78

B-2 occupancy  
 B-2 zone  
 Fire zone 2  
 \$4000.00 value  
~~\$2500.00~~  
~~\$2500.00~~  
 Fee  
 \$38.00

4x6 Post 4' O.C.  
 2x6x24 Rafters  
 12" Post Holes  
 8" Rebar-in Rafters

PROJECT LYLE HOGELAND  
 1408 EAST MAIN ST  
 752-6878  
 SHEET No. \_\_\_\_\_  
 DATE 10-9 1978

SAVAGE  
YARD



East

EAST BOUNDARY  
1 FOOT OF  
6 1/2

#7800

old shop  
open  
BARN

NEW BUILDING  
To use in conjunction with used cars

Steel SHED  
FOR FILE STORAGE

Used e ABS  
SALES LOT

OK  
RAY  
9/13/88  
RM-2

79 FEET

27 FEET

HOUSE

SOUTH BOUNDARY

EAST MAIN STREET

Magnum Body Shop  
407 & Main  
Sylvia Magnum

WEST BOUNDARY

MORE USED CARS

Glen



Lester Building Systems  
 A Division of Butler Manufacturing Company  
 P.O. Box 37 • Lester Prairie, MN 55354  
 Phone (612) 395-2531 • Fax (612) 395-2969

*Todd  
 1-800 735 4122*

DATE: 8-6-96  
 JOB # 87331

TO: K-VAN CONSTRUCTION CO. 96-87331  
 POB 666, ND. HWY. 65  
 IOWA FALLS IA 50126  
 40 X 40 X 12 UNI I -PKG  
 RE: 515-648-4122 HOGELAND, LONNIE

Enclosed is an advanced set of construction drawings for the wood framed building you recently ordered. Two additional sets will be sent with the building order when it is shipped.

Please review these drawings and give me a call if there are any questions.

Sincerely, *Neil Peterson*  
 Order Technician  
 Ext. 256

Lyle or Lonnie Hogeland  
**HOGELAND BODY SHOP & SALVAGE**  
*Used Cars & Trucks • Rebuildables • Body Shop • New & Used Parts*  
 24 Hr. Emergency Towing  
 Office 641-752-0027  
 WATS 866-752-0027  
 www.hogelandbody.com  
 Cell Phones  
 Lonnie 750-8854  
 Lyle 750-8856  
 Jack 750-8857  
 Brett 750-8855  
 1408 E. Main Street  
 Marshalltown, Iowa 50158  
 Fax 641-752-0002

*Lyle or Lonnie Hogeland*  
**HOGELAND BODY SHOP**  
*Used Cars • Rebuildables • Towing • Parts*  
 1408 E. MAIN STREET  
 MARSHALLTOWN, IOWA 50158  
 (515) 752-0027  
~~(641) 752-0002~~  
*641-752-0027*

Anderson Elect.

1408 E MAIN ST

1408 E Main St.

1-25

Lyle Hogeland

8-3-83

Remove portable lamp cord Bond neutral  
use 20A fuse station main panel add grd rod  
retighten all fittings change polarity on old  
recepticals

8-18-83

OK

3045

Anderson Elec.


1408 E Main

Lyle Hogeland

#3045

sent letter on May  
17-83. after the Dept  
made complaint of wiring  
sent certified letter  
July 5 after nothing was  
done. Contacted Anderson  
because it was reported  
he had been there. out

Coxey Anderson 7-21-83. 4th  
is to do the work,

 **MENARD  
BUILDINGS** 6765 Hwy. 14 East  
Rochester, MN. 55901

**RANDY ROHACH**  
**SALES REPRESENTATIVE**  
Office:(507)288-3275 Home:(319)345-2678

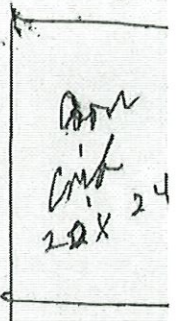
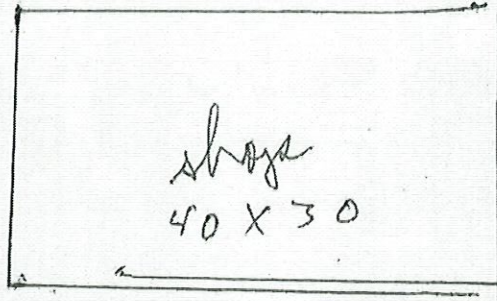
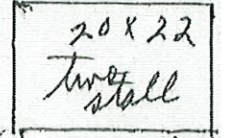
★ COMMERCIAL ★ FARM ★ RESIDENTIAL

Hogback ways west  
1408 E main

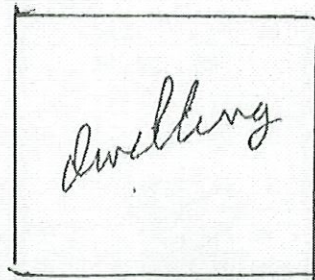
~~2500~~

Proposed location  
of moved in Bldg.  
purchased from  
city

#  
12627



1300' Long



131'

E. main St

NORTH  
↑

Street East Main Street House No. 1408

DEPARTMENT OF INSPECTION, CITY OF MARSHALLTOWN

Application For Building Permit and Certificate of Occupancy

Permit No. 21590 Date of Application August 20, 2002

The undersigned hereby makes application to alter a building on:

Lot \_\_\_\_\_ Block \_\_\_\_\_ Addition \_\_\_\_\_  
 Owner of Lot Lonnie Hogeland  
 Address of Owner 1408 East Main Street  
 Contractor Owner  
 Address of Contractor Same  
 Architect \_\_\_\_\_ None \_\_\_\_\_  
 Intended use of building Group B Occupancy  
 No. of Families provided for after alteration -0-  
 Bldg. dimensions after alteration see plan  
 Dimensions of Addition 24'x30'  
 Lot Dimensions see plat Lot Area \_\_\_\_\_  
 Zone M-2 Front Yard \_\_\_\_\_ Rear Yard same  
 Side Yard: Left 110' Right 0' w/firewall  
 Within Fire Limits: Yes X No \_\_\_\_\_  
 Construction Materials for Alteration: Type V-N  
 Foundation 8"x42" w/2#4 rebar-  
 Exterior Walls 2x4x16" oc/OSB/5/8" gypsum both  
 Interior Walls 2x4x16" oc sides \_\_\_\_\_  
 1st Floor Joists slab 2nd Floor Joists -0-  
 Ceiling Joists truss Roof Rafters trusses  
 Height of Building one story  
 Ceiling Height: 8' Basement \_\_\_\_\_ 1st Floor \_\_\_\_\_  
 After Alteration: 2nd Floor \_\_\_\_\_ 3rd Floor \_\_\_\_\_  
 No. of Toilets Total -0-  
 Type of Ventilation mechanical  
 Valuation: \$18,000.00 Fee: \$293.00

This application and any permit that may be granted in response thereto are subject to all laws of the State of Iowa and all ordinances of the City of Marshalltown, Iowa that may have a bearing on the same.

The Applicant, Lonnie Hogeland, being duly sworn, deposes and says that he is the owner; or that he is authorized and empowered to make affidavit for the owner, who makes the accompanying application; that the application, plat, plans, and specifications are true and contain a correct description of the proposed building, building construction, lot, and use to which building is to be placed.

Application is herewith made by HBS BY co owner  
[Signature]  
(Owner or Representative)

Subject to deed restrictions.  
Subject to all Government regulations.  
Examined and approved 22 day of August, 20 02  
[Signature]  
Building Official

Sketch plot plan on reverse side.

Street E. Main Street House No. 1400

DEPARTMENT OF INSPECTION, CITY OF MARSHALLTOWN

Application For Building Permit and Certificate of Occupancy

Permit No. 17714 Date of Application Nov 21, 1988

The undersigned hereby makes application to erect a building on:

Lot \_\_\_\_\_ Block \_\_\_\_\_ Addition \_\_\_\_\_

Owner of Lot \_\_\_\_\_

Address of Owner \_\_\_\_\_

Contractor \_\_\_\_\_

Address of Contractor \_\_\_\_\_

Architect \_\_\_\_\_

Intended use of building \_\_\_\_\_

No. of Families provided for in bldg. \_\_\_\_\_

Bldg. Dimensions \_\_\_\_\_

Lot Dimensions \_\_\_\_\_ Lot Area \_\_\_\_\_

Zone \_\_\_\_\_

Front Yard \_\_\_\_\_ Rear Yard \_\_\_\_\_

Side Yard: Left \_\_\_\_\_ Right \_\_\_\_\_

Within Fire Limits: Yes \_\_\_\_\_ No \_\_\_\_\_

Construction Materials:

Foundation Post holes

Exterior Walls Post - Beam

1st Floor Joists \_\_\_\_\_ 2nd Floor Joists \_\_\_\_\_

Ceiling Joists \_\_\_\_\_ Roof Rafters \_\_\_\_\_

Height of Building \_\_\_\_\_

Ceiling Height: Basement \_\_\_\_\_ 1st Floor \_\_\_\_\_

2nd Floor \_\_\_\_\_ Roof Rafters \_\_\_\_\_

Number of Rooms:

Basement \_\_\_\_\_ 1st Floor \_\_\_\_\_

2nd Floor \_\_\_\_\_ Attic \_\_\_\_\_

No. of Toilets \_\_\_\_\_

Type of Ventilation D & W

Valuation: 20,000 Fee: 105.00

This application and any permit that may be granted in response thereto are subject to all the laws of the State of Iowa and all ordinances of the City of Marshalltown, Iowa, that may have a bearing on the same.

The Applicant, Alvin Housh, being duly sworn, deposes and says that he is the owner; or that he is authorized and empowered to make affidavit for the owner, who makes the accompanying application; that the application, plat, plans and specifications are true and contain a correct description of the proposed building, building construction, lot, and use to which building is to be placed.

Application is herewith made by Alvin Housh  
(Owner or Representative)

Subject to deed restrictions.

Subject to all Government regulations.

Examined and approved \_\_\_\_\_ day of NOVEMBER, 19 88

\_\_\_\_\_  
Building Inspector

Sketch plot plan on reverse side.

Street East Main Street House No. 1408

DEPARTMENT OF INSPECTION, CITY OF MARSHALLTOWN  
Application For Building Permit and Certificate of Occupancy

Permit No. 20959 Date of Application June 2000

The undersigned hereby makes application to erect a building on:

Lot \_\_\_\_\_ Block \_\_\_\_\_ Addition \_\_\_\_\_  
Owner of Lot Lonnie Hogeland  
Address of Owner 1408 East Main Street  
Contractor K-Van Construction Co. Inc. IA#54226-99  
Address of Contractor P.O. BOX 666 Iowa Falls, Iowa  
Architect Kevin Gerard Conroy P.E. IA# 11613  
Intended use of building Group S-1  
No. of Families provided for in bldg. -0-0-  
Bldg. dimensions 48'x80'  
Lot Dimensions see plat Lot Area \_\_\_\_\_  
Zone M-2  
Front Yard 360' Rear Yard 921'  
Side Yard: Left see plat Right 0' - on property line  
Within Fire Limits: Yes X No \_\_\_\_\_  
Construction Materials:  
Foundation 18" & 22"x48" piers  
Exterior Walls one hour wall east wall w/ 5/8"  
1st Floor Joists gyp. 2nd Floor Joists -0-  
Ceiling Joists -0- Roof Rafters trusses  
Height of Building one story  
Ceiling Height: Basement -0- 1st Floor see plan  
2nd Floor -0- Roof Rafters -0-  
Number of Rooms: -0-  
Basement \_\_\_\_\_ 1st Floor \_\_\_\_\_  
2nd Floor \_\_\_\_\_ Attic \_\_\_\_\_  
No. of Toilets none  
Type of Ventilation mechanical  
Valuation: \$46,000.00 Fee: \$602.00

This application and any permit that may be granted in response thereto are subject to all laws of the State of Iowa and all ordinances of the City of Marshalltown, Iowa that may have a bearing on the same.

The Applicant, Lonnie Hogeland, being duly sworn, deposes and says that he is the owner; or that he is authorized and empowered to make affidavit for the owner, who makes the accompanying application; that the application, plat, plans, and specifications are true and contain a correct description of the proposed building, building construction, lot, and use to which building is to be placed.

Application is herewith made by [Signature]  
(Owner or Representative)

Subject to deed restrictions.

Subject to all Government regulations.

Examined and approved 20 day of JUNE, 2000

[Signature]  
Building Official

Sketch plot plan on reverse side.

Street East Main Street House No. 1408

DEPARTMENT OF INSPECTION, CITY OF MARSHALLTOWN

Application For Building Permit and Certificate of Occupancy

Permit No. 19928 Date of Application August, 1996

The undersigned hereby makes application to alter a building on:

Lot \_\_\_\_\_ Block \_\_\_\_\_ Addition \_\_\_\_\_

Owner of Lot Hogeland Body Shop

Address of Owner 1408 East Main Street

Contractor K-Van Construction IA #02192-89

Address of Contractor Iowa Falls

Architect Kevin Gerard Conroy P.E. IA #11813

Intended use of building Group B

No. of Families provided for after alteration -0-

Bldg. dimensions after alteration 40' x 100'

Dimensions of Addition 40' x 40'

Lot Dimensions see plat Lot Area \_\_\_\_\_

Zone M-2 Front Yard 60' Rear Yard see plat

Side Yard: Left 12' Right same

Within Fire Limits: Yes x No \_\_\_\_\_

Construction Materials for Alteration: Type V-N

Foundation 16" x 23" x 4' piers

Exterior Walls see plan

Interior Walls -0-

1st Floor Joists slab 2nd Floor Joists -0-

Ceiling Joists \_\_\_\_\_ Roof Rafters trusses

Height of Building one story

Ceiling Height: 7'6" Basement -0- 1st Floor 7'6" Min

After Alteration: 2nd Floor -0- 3rd Floor -0-

No. of Toilets Total -0-

Type of Ventilation mechanical

Valuation: \$20,000.00 Fee: \$240.00

This application and any permit that may be granted in response thereto are subject to all laws of the State of Iowa and all ordinances of the City of Marshalltown, Iowa that may have a bearing on the same.

The Applicant, Todd Fisher, being duly sworn, deposes and says that he is the owner; or that he is authorized and empowered to make affidavit for the owner, who makes the accompanying application; that the application, plat, plans, and specifications are true and contain a correct description of the proposed building, building construction, lot, and use to which building is to be placed.

Application is herewith made by [Signature]  
(Owner or Representative)

Subject to deed restrictions.  
Subject to all Government regulations.  
Examined and approved 15 day of August, 1996  
[Signature]  
Building Inspector

Sketch plot plan on reverse side.

Building moved in from 211 S. 12th. Ave.  
Council permit  
Street E. Main St. House No. 1408

DEPARTMENT OF INSPECTION, CITY OF MARSHALLTOWN

Application For Building Permit and Certificate of Occupancy  
for Minor Building

Permit No. 12627 Date of Application Dec. 2, 19

The undersigned hereby makes application to erect a building on:  
Lot \_\_\_\_\_ Block \_\_\_\_\_ Addition \_\_\_\_\_  
Owner of Lot Lyle Hogland  
Address of Owner 1408 E. MAIN ST.  
Contractor Lyle Hogland  
Address of Contractor 1408 E. Main St.  
Architect None  
Intended use of building Group J\*1  
Bldg. Dimensions 20' X 22'  
Lot Dimensions 131' X 1300' Lot Area \_\_\_\_\_  
Zone M-2  
Distance to Dwelling 60' plus  
Distance to Rear Lot Line 100' plus  
Distance to Nearest Side Lot Line 3'

Within Fire Limits: Yes  No  2

Construction Type V.  
Height of Bldg. 12'

Valuation: \$ 700.00 Fee: \$ 4.00

This application and any permit that may be granted in response thereto are subject to all the laws of the State of Iowa and all ordinances of the City of Marshalltown, Iowa, that may have a bearing on the same.

The Applicant, Lyle Hogland, being duly sworn, deposes and says that he is the owner; or that he is authorized and empowered to make affidavit for the owner, who makes the accompanying application; that the application, plat, plans and specifications are true and contain a correct description of the proposed building, building construction, lot, and use to which building is to be placed.

Application is herewith made by Lyle Hogland  
(Owner or Representative)

Subject to deed restrictions.  
Subject to all Government regulations.  
Examined and approved 2 day of Dec., 19 3

Earl T. Holland  
Building Inspector

Sketch plot plan on reverse side.

Street East Main Street House No. 1408

DEPARTMENT OF INSPECTION, CITY OF MARSHALLTOWN

Application for Building Permit and Certificate of Occupancy

Permit No. 15679 Date of Application Oct. 10, 1978

The undersigned hereby makes application to alter a building on  
Lot \_\_\_\_\_ Block \_\_\_\_\_ Addition \_\_\_\_\_  
Owner of Lot Lyle Rogeland  
Address of Owner 1408 East Main Street  
Contractor Same  
Address of Contractor Same  
Architect None  
Intended use of building Group B-2  
No. of families provided for after alteration None  
Bldg. dimensions after alteration \_\_\_\_\_  
Dimensions of Addition 24'x24'  
Lot Dimensions 131'x377' Lot Area \_\_\_\_\_  
Zone B-2 Front Yard 50' to Rear Yard 200'  
Side Yard: Left 10' Right Same  
Within Fire Limits Yes \_\_\_\_\_ No \_\_\_\_\_  
Construction Materials for Alteration: Type v-n  
Foundation 12" Post holes w/6" ready-mix pads  
Exterior Walls 4x6 post 4" c.c.  
Interior Walls \_\_\_\_\_  
1st Floor Joists 2x8 2nd Floor Joists 2x8  
Ceiling Joists 2x8x24 Roof Rafters 2x8x24  
Height of Building One Story  
Ceiling Height \_\_\_\_\_ Basement \_\_\_\_\_ 1st Floor 8'  
After Alteration: 2nd Floor \_\_\_\_\_ 3rd Floor \_\_\_\_\_  
No. of Toilets Total: \_\_\_\_\_  
Type of Ventilation Duct  
Valuation \$4,000.00 Fee \$25.00

This application and any permit that may be granted in response thereto are subject to all the laws of the State of Iowa and all ordinances of the City of Marshalltown, Iowa, that may have a bearing on the same.

The Applicant, Lyle Rogeland, being duly sworn deposes and says that he is the owner; or that he is authorized and empowered to make affidavit for the owner, who makes the accompanying application; that the application, plat, plans and specifications are true and contain a correct description of the proposed building, building construction, lot, and use to which building is to be placed.

Application is herewith made by Lyle Rogeland  
(Owner or Representative)

Subject to deed restrictions.

Subject to all Government regulations.

Examined and approved 10 day of Oct., 19 78

[Signature]  
Building Inspector

Sketch plot plan on reverse side.

Street East Main Street House No. 1408

DEPARTMENT OF INSPECTION, CITY OF MARSHALLTOWN

Application For Building Permit and Certificate of Occupancy

Permit No. 21968 Date of Application December 16, 2003

The undersigned hereby makes application to alter a building on:

Lot \_\_\_\_\_ Block \_\_\_\_\_ Addition \_\_\_\_\_  
Owner of Lot Lonnie Hogeland  
Address of Owner 1408 East Main Street  
Contractor K-Van Construction IA#81401-03  
Address of Contractor P.O. BOX 666 Iowa Falls 50126  
Architect John Dierauer P.E. IA# 9632  
Intended use of building Group S-1 Occupancy  
No. of Families provided for after alteration -0-  
Bldg. dimensions after alteration see plan  
Dimensions of Addition 18' x 80'  
Lot Dimensions see plat Lot Area \_\_\_\_\_  
Zone M-2 Front Yard see plat Rear Yard see plat  
Side Yard: Left see plat Right see plat  
Within Fire Limits: Yes X No \_\_\_\_\_  
Construction Materials for Alteration: Type V-N  
Foundation 18' x 56" piers/poured 8" pad  
Exterior Walls Steel  
Interior Walls -0-  
1st Floor Joists -0- 2nd Floor Joists -0-  
Ceiling Joists truss Roof Rafters trusses  
Height of Building one story  
Ceiling Height: see plat Basement \_\_\_\_\_ 1st Floor \_\_\_\_\_  
After Alteration: 2nd Floor \_\_\_\_\_ 3rd Floor \_\_\_\_\_  
No. of Toilets Total -0-  
Type of Ventilation mechanical  
Valuation: \$18,000.00 Fee: \$293.00

This application and any permit that may be granted in response thereto are subject to all laws of the State of Iowa and all ordinances of the City of Marshalltown, Iowa that may have a bearing on the same.

The Applicant, K-Van Construction, being duly sworn, deposes and says that he is the owner; or that he is authorized and empowered to make affidavit for the owner, who makes the accompanying application; that the application, plat, plans, and specifications are true and contain a correct description of the proposed building, building construction, lot, and use to which building is to be placed.

Application is herewith made by [Signature]  
(Owner or Representative)

Subject to deed restrictions.  
Subject to all Government regulations.  
Examined and approved 18 day of December, 2003

[Signature]  
Building Official

Sketch plot plan on reverse side.

INSPECTION RECORD

Address 1408 East Main Street Permit No. 21968
Date December 18, 2003 Value \$18,000.00
For 18'x80' Addition
Owner Lonnie Hogeland
Contractor K-Van Construction
Plumbing N/A
Electrician
Released
For Occupancy Group S-1
Lot Block Add.

INSPECTION RECORD

Address 1408 East Main Street Permit No. 15679
Date Oct. 10, 1978 Value \$4,000.00
For 24'x24' addition to present building
Owner Lyle Hogeland 50' from house
Contractor Same 200+' to rear lot line
Plumbing 0 10' to side lot line
Electrician
Released
For Occupancy Group B-2
Lot Add.

INSPECTION RECORD

Address 1408 East Main Street Permit No. 17714
Date November 21, 1988 Value \$20,688
For New 40' x 60' pole building
Owner Lyle Hogeland
Contractor Menard Buildings Front yard 150'
Rear yard 700'
Plumbing Left yard 130'
Right yard 5'
Electrician
Released
For Occupancy Group B-1
Lot Add.

|                      | Approved                  | Date    |
|----------------------|---------------------------|---------|
| Footing and Wall ... | Pier Insp. Patrick Palmer | 1-5-05  |
| Frame .....          | State Revenue             | 1/9/05  |
| Dry Wall .....       | No call for inspection    | (S)     |
| Temporary .....      |                           |         |
| Final .....          | State Revenue             | 1/12/04 |
| Remarks .....        |                           |         |
| .....                |                           |         |

12" post holes w/8" ready -mix pads

|                      | Approved  | Date     |
|----------------------|-----------|----------|
| 4x6 post 4' oc       |           |          |
| 2x6x24 Ceiling Joist | O.K. L.G. | 10/20/78 |
| Footing and Wall     |           |          |
| 2x6x24 Rafters       | O.K. L.G. | 11/21/78 |
| Frame .....          |           |          |
| Dry Wall .....       |           |          |
| Temporary .....      |           |          |
| Final .....          | O.K. L.G. | 2/5/79   |
| Remarks .....        |           |          |
| .....                |           |          |

24"x8" pole footings 14"x4" other footings  
6"x6" 6'oc post (5'6" Deep 20")

|                        | Approved | Date     |
|------------------------|----------|----------|
| Footing and Wall ..... | J.R.     | 12/13/88 |
| Frame .....            |          | 12/19/88 |
| Dry Wall .....         |          |          |
| Temporary .....        |          |          |
| Final .....            | J.R.     | 1/04/89  |
| Remarks .....          |          |          |
| .....                  |          |          |

**INSPECTION RECORD**

Address ..... 1408 East Main Street ..... Permit No. .... 19924  
Date ..... August 15, 1996 ..... Value .. \$20,000.00  
For ..... 40' x 40' bldg addition .....  
Owner ..... Hogeland Body Shop .....  
Contractor ..... K Van Construction .....  
Plumbing ..... N/a .....  
Electrician .....  
Released .....  
For Occupancy ..... Group B .....  
Lot ..... Block ..... Add. ....

**INSPECTION RECORD**

Address ..... 1408 East Main Street ..... Permit No. .... 20959  
Date ..... June 20, 2000 ..... Value .. \$46,000.00  
For ..... New 48'x80' Commercial Building .....  
Owner ..... Lonnie Hogeland .....  
Contractor ..... K-Van Construction ..... 0' East Wall w/lhr fir  
Plumbing ..... N/A ..... wall  
Electrician .....  
Released .....  
For Occupancy ..... Group S-1 .....  
Lot ..... Block ..... Add. ....

**INSPECTION RECORD**

Address ..... 1408 East Main Street ..... Permit No. .... 21590  
Date ..... August 22, 2002 ..... Value .. \$18,000.00  
For ..... 24'x30' Office Addition .....  
Owner ..... Lonnie Hogeland ..... 0' to east w/firewall  
Contractor ..... " " .....  
Plumbing .....  
Electrician .....  
Released ..... Group B .....  
For Occupancy .....  
Lot ..... Block ..... Add. ....

see plans

|                        | Approved     | Date    |
|------------------------|--------------|---------|
| Footing and Wall ..... | SR           | 8/15/96 |
| Frame .....            | J. Hilschuck | 8-21-96 |
| Dry Wall .....         | N/A          |         |
| Temporary .....        |              |         |
| Final .....            | J. Hilschuck | 8-28-96 |
| Remarks .....          |              |         |
| .....                  |              |         |

|                        | Approved              | Date    |
|------------------------|-----------------------|---------|
| Footing and Wall ..... | Pier Patrick Johnson  | 6-22-00 |
| Frame .....            | No Call               |         |
| Dry Wall .....         |                       |         |
| Temporary .....        | Stop Remover FIREWALL |         |
| Final .....            | No Call               |         |
| Remarks .....          |                       |         |
| .....                  |                       |         |

|                        | Approved                   | Date    |
|------------------------|----------------------------|---------|
| Footing and Wall ..... | Trench Ftg Patrick Johnson | 8-26-00 |
| Frame .....            | Stop Remover               | 9-17-00 |
| Dry Wall .....         | No CALL                    |         |
| Temporary .....        |                            |         |
| Final .....            | Stop Remover               | 11/4/02 |
| Remarks .....          |                            |         |
| .....                  |                            |         |



**Lester Building Systems**

**RAFTER ANALYSIS**

Dealer: K-Van Construction

Owner: Hogeland Auto Plaza

Job: 114576

Page: 1 of 3

By: JRD

Date: 12/08/2003

**RAFTER ANALYSIS SUMMARY - T1 - 18ft Lean-to Rafter**

Maximum CSI: 0.900 Load Case: D+S Max. Reaction: 2730.0 lb Load Case: D+S  
 Max. CSI Location: 8'-11 15/16" From Left End of Member.

| Max. Deflection Index: 0.470 | Deflection Inches    | Allowable Defl. in | Deflection Ratio | Allowable Defl. Ratio |
|------------------------------|----------------------|--------------------|------------------|-----------------------|
| Load Case: D+S               | Total (KDL+LL) 0.675 | 1.500              | L/320            | L/120                 |
|                              | Applied (LL) 0.564   | --                 | L/383            | L/180                 |

**GEOMETRY**

Rafter Overall Length (Horiz.): 18'-6" Rafter Spacing: 8'-0"  
 Rafter Slope: 2.50 / 12  
 Brace Spacing: Loaded Edge: 2'-8" Opposite Edge: 18'-0"

**SUPPORTS AND REACTIONS**

Support Locations Measured From Left End Of Rafter

Reactions: Vertical Only (lb)

| Spt. Loc.:  | 0'-0" | 18'-0" |
|-------------|-------|--------|
| Dead Load:  | 425   | 449    |
| Snow Load:  | 2159  | 2282   |
| Max. Total: | 2583  | 2730   |

**LUMBER**

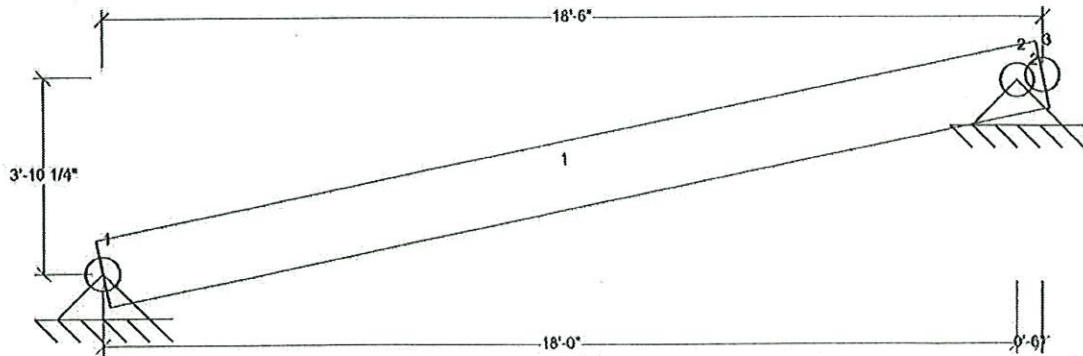
1-1/2x16 SP 2.0E MICROLAM LVL Lumber ID: 2303 Flexural Axis: Strong  
 Member Self-Weight is added to the loads listed below. ( 7 lb/ft)

**DISTRIBUTED LOADS**

| Start Magnitude | Start Location | End Magnitude | End Location | Type | Direction         |
|-----------------|----------------|---------------|--------------|------|-------------------|
| 5.00 psf        | 0'-0"          | 5.00 psf      | 18'-6"       | Dead | Local Y-Direction |
| 30.00 psf       | 0'-0"          | 30.00 psf     | 18'-6"       | Snow | Local Y-Direction |

**LOAD COMBINATIONS**

| Combination | Duration Factor (Cd) |
|-------------|----------------------|
| D           | 0.90                 |
| D+S         | 1.15                 |





**Lester Building Systems**

**RAFTER ANALYSIS**

Job: 114576

Page: 2 of 3

Dealer: K-Van Construction

By: JRD

Owner: Hogeland Auto Plaza

Date: 12/08/2003

**MEMBER FORCES - Load Case: D+S**

| No. | Type | Left Axial Force (lb) | Left Shear Force (lb) | Left Bending Moment (in-lb) | Right Axial Force (lb) | Right Shear Force (lb) | Right Bending Moment (in-lb) | Maximum Midspan Moment (in-lb) | Midspan Moment Location (in) |
|-----|------|-----------------------|-----------------------|-----------------------------|------------------------|------------------------|------------------------------|--------------------------------|------------------------------|
| 1   | TC1  | 527.1                 | 2528.1                | 0.0                         | 527.1                  | 2532.0                 | -430.7                       | -139339.8                      | 110.23                       |
| 2   | TC1  | 29.3                  | 140.6                 | 430.7                       | 0.0                    | 0.0                    | 0.0                          | 106.6                          | 3.08                         |

**JOINT DEFLECTIONS - Load Case: D+S**

| No. | Type | Horiz. Defl. (in) | Vert. Defl. (in) | Rotation (rad) |
|-----|------|-------------------|------------------|----------------|
| 1   | TC   | 0.0000            | 0.0000           | -0.0100077     |
| 2   | TC   | 0.0000            | 0.0000           | 0.0099922      |
| 3   | TC   | -0.0125           | 0.0599           | 0.0099914      |

**REACTIONS - Load Case: D+S**

| No.   | Horiz. (X) Location | Vertical (Y) Location | Horizontal Reaction (lb) | Vertical Reaction (lb) | Moment Reaction (ft-lb) |
|-------|---------------------|-----------------------|--------------------------|------------------------|-------------------------|
| 1     | 0'-0"               | 0'-0"                 | 0.4                      | 2582.4                 | 0.0                     |
| 2     | 18'-0"              | 3'-9"                 | -0.4                     | 2729.8                 | 0.0                     |
| Total |                     |                       | 0.0                      | 5312.3                 | 0.0                     |

**MEMBER CSI SUMMARY - Load Case: D+S**

| No. | Type | Lumber ID | Axial Force (lb) | Bending Moment (in-lb) | Shear Force (lb) | CSI Axial+ Flexure | CSI Shear |
|-----|------|-----------|------------------|------------------------|------------------|--------------------|-----------|
| 1   | TC1  | 2303      | -0.4             | -139339.8              | 0.0              | 0.900              | 0.000     |
| 2   | TC1  | 2303      | -29.3            | 430.7                  | -140.6           | 0.002              | 0.018     |



Lester Building Systems

**RAFTER ANALYSIS**

Job: 114576

Page: 3 of 3

Dealer: K-Van Construction

By: JRD

Owner: Hogeland Auto Plaza

Date: 12/08/2003

**DETAILED CSI CALCULATIONS FOR CRITICAL SECTION - Load Case: D+S**

CSI CALCULATIONS FOR MEMBER 1 (TC1) - LOAD CASE: D+S

Critical Section 14 at 110.23 inches from left end of Member.  
 Maximum CSI = 0.900  
 Member Length = 220.638 (18'-4 5/8")

**LUMBER DATA (Property Units: in)**

| ID   | Plies        | Nom. Size | Species     | Grade             | Type    | Treated |       |
|------|--------------|-----------|-------------|-------------------|---------|---------|-------|
| 2303 | 1            | 1-1/2x16  | SP          | 2.0E MICROLAM LVL | LVL     | N       |       |
|      | Width        | Depth     | Area        | Iyy               | Syl     | Syr     |       |
|      | 1.500        | 16.000    | 24.000      |                   |         |         |       |
|      | Ixx          | Sxt       | Sxb         | 4.500             | 6.000   | 6.000   |       |
|      | 512.000      | 64.000    | 64.000      |                   |         |         |       |
|      | Moist. Cont. | Sp. Grav. | C. o. V. E. | Wt./ft.           | Spacing | Service | Temp. |
|      | 15           | 0.50      | 0.10        | 7.00              | 0.0     | Dry     | 70    |

**LOADS (lb or in-lb) (Axial compression is negative) (M and V are absolute values)**

| Axial | Mx       | Vx   | My  | Vy  |
|-------|----------|------|-----|-----|
| -0.4  | 139339.8 | 0.00 | 0.0 | 0.0 |

**DIMENSIONS AND SECTION PROPERTIES (in)**

| Be    | BeC   | De     | DeC    | Area   | Sxx    | Syy   |
|-------|-------|--------|--------|--------|--------|-------|
| 1.500 | 1.500 | 16.000 | 16.000 | 24.000 | 64.000 | 6.000 |

**EFFECTIVE LENGTHS (in)**

| Lebx   | Leby   | Lecx    | Lecy   |
|--------|--------|---------|--------|
| 59.328 | 59.328 | 204.294 | 28.800 |

**NDS TABULATED ALLOWABLE STRESSES AND MOD. OF ELASTICITY VALUES (psi or 10<sup>6</sup> psi)**

| Fbx    | Fcx    | Ex   | Fby    | Fcy   | Ey   |
|--------|--------|------|--------|-------|------|
| 2750.0 | 880.0  | 2.00 | 3255.0 | 525.0 | 2.00 |
| Ft     | Fc     | E    | Fvx    | Fvy   |      |
| 1805.0 | 2365.0 | 2.00 | 285.0  | 190.0 |      |

**NDS MODIFICATION FACTORS**

| Cd    | Cr    | Kf    | Cs    | Cfu   | Cv    | Ch    | Cf    |
|-------|-------|-------|-------|-------|-------|-------|-------|
| 1.150 | 1.000 | 1.000 | 1.000 | 1.000 | 1.000 | 1.500 | 0.960 |

**BEAM STABILITY FACTORS (Refer to NDS Section 3.3.3)**

| CLx   | Rbx    | Kbe   | Fbex   | Fb*x   |
|-------|--------|-------|--------|--------|
| 0.797 | 20.540 | 0.610 | 2891.8 | 3036.0 |
| CLy   | Rby    | Kbe   | Fbey   | Fb*y   |
| 1.000 | 0.000  | 0.610 | 0.0    | 0.0    |

$Rb = \sqrt{Leb \times De / Be^2}$        $Fbe = Kbe \times E' / Rb^2$   
 $CL = (1 + Fbe / Fb^*) / 1.9 - \sqrt{((1 + Fbe / Fb^*) / 1.9)^2 - Fbe / Fb^* / 0.95}$

**COLUMN STABILITY FACTOR (Refer to NDS Sections 3.7.1 and 15.3.1)**

| Cp    | Lecx/Dx | Lecy/Dy | Kce   | Fce    | c     | Fc*    |
|-------|---------|---------|-------|--------|-------|--------|
| 0.625 | 12.768  | 19.200  | 0.418 | 2267.8 | 0.800 | 2719.7 |

$Fce = Kce \times E' / (Lec/D)^2$  (Maximum L/d is used)  
 $Cp = Kf \times [(1 + Fce / Fc^*) / (2 \times c) - \sqrt{((1 + Fce / Fc^*) / (2 \times c))^2 - Fce / Fc^* / c}]$

**MODIFIED ALLOWABLE STRESSES AND MOD. OF ELASTICITY VALUES (psi or 10<sup>6</sup> psi)**

| Fbx    | Fcx    | Ex   | Fby    | Fcy   | Ey   |
|--------|--------|------|--------|-------|------|
| 2418.3 | 880.0  | 2.00 | 4491.9 | 525.0 | 2.00 |
| Ft     | Fc     | E    | Fvx    | Fvy   |      |
| 2075.7 | 1700.4 | 2.00 | 491.6  | 327.7 |      |

**ACTUAL STRESSES (psi)**

| fbx     | fby  | fc   | ft   | fvx  | fvy  |
|---------|------|------|------|------|------|
| 2177.18 | 0.00 | 0.02 | 0.00 | 0.00 | 0.00 |

**COMBINED STRESS INDEX (CSI) (Refer to NDS Sections 3.9.1 and 3.9.2)**

| Fcex   | Fcey   | Ax. Term | Fbx Term | Fby Term |
|--------|--------|----------|----------|----------|
| 5127.8 | 2267.8 | 0.000    | 0.900    | 0.000    |

Flexure + Axial: 0.900      Shear: 0.000      Eq. 3.9-3



**Lester Building Systems**

**RAFTER ANALYSIS**

Job: 114576

Page: 1 of 3

Dealer: K-Van Construction

By: JRD

Owner: Hogeland Auto Plaza

Date: 12/08/2003

**RAFTER ANALYSIS SUMMARY - T1 - 18ft Lean-to Rafter**

Maximum CSI: 0.900 Load Case: D+S Max. Reaction: 2730.0 lb Load Case: D+S  
 Max. CSI Location: 8'-11 15/16" From Left End of Member.

|                              |                |           |            |             |
|------------------------------|----------------|-----------|------------|-------------|
| Max. Deflection Index: 0.470 | Deflection     | Allowable | Deflection | Allowable   |
| Load Case: D+S               | Inches         | Defl. in  | Ratio      | Defl. Ratio |
|                              | Total (KDL+LL) | 1.500     | L/320      | L/120       |
|                              | Applied (LL)   | 0.564     | L/383      | L/180       |

**GEOMETRY**

Rafter Overall Length (Horiz.): 18'-6" Rafter Spacing: 8'-0"  
 Rafter Slope: 2.50 / 12  
 Brace Spacing: Loaded Edge: 2'-8" Opposite Edge: 18'-0"

**SUPPORTS AND REACTIONS**

Support Locations Measured From Left End Of Rafter

|                               |       |        |  |
|-------------------------------|-------|--------|--|
| Reactions: Vertical Only (lb) |       |        |  |
| Spt. Loc.:                    | 0'-0" | 18'-0" |  |
| Dead Load:                    | 425   | 449    |  |
| Snow Load:                    | 2159  | 2282   |  |
| Max. Total:                   | 2583  | 2730   |  |

**LUMBER**

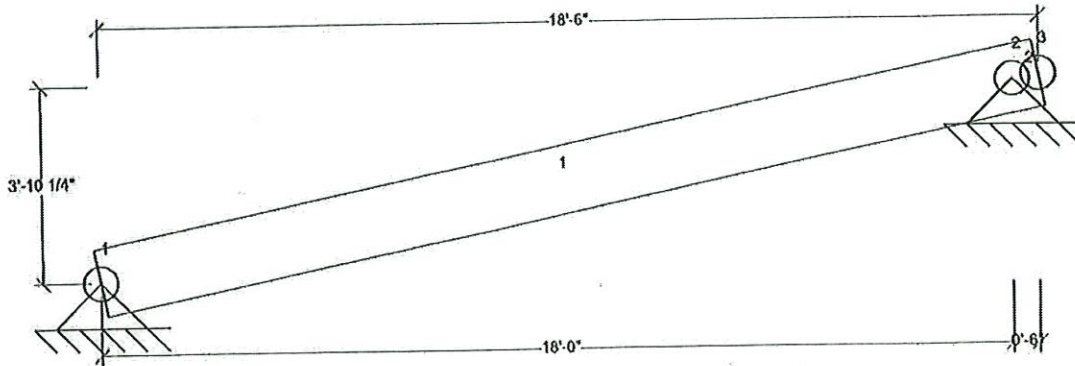
1-1/2x16 SP 2.0E MICROLAM LVL Lumber ID: 2303 Flexural Axis: Strong  
 Member Self-Weight is added to the loads listed below. ( 7 lb/ft)

**DISTRIBUTED LOADS**

| Start Magnitude | Start Location | End Magnitude | End Location | Type | Direction         |
|-----------------|----------------|---------------|--------------|------|-------------------|
| 5.00 psf        | 0'-0"          | 5.00 psf      | 18'-6"       | Dead | Local Y-Direction |
| 30.00 psf       | 0'-0"          | 30.00 psf     | 18'-6"       | Snow | Local Y-Direction |

**LOAD COMBINATIONS**

| Combination | Duration Factor (Cd) |
|-------------|----------------------|
| D           | 0.90                 |
| D+S         | 1.15                 |





**Lester Building Systems**

**RAFTER ANALYSIS**

Job: 114576

Page: 2 of 3

Dealer: K-Van Construction

By: JRD

Owner: Hogeland Auto Plaza

Date: 12/08/2003

**MEMBER FORCES - Load Case: D+S**

| No. | Type | Left Axial Force (lb) | Left Shear Force (lb) | Left Bending Moment (in-lb) | Right Axial Force (lb) | Right Shear Force (lb) | Right Bending Moment (in-lb) | Maximum Midspan Moment (in-lb) | Midspan Moment Location (in) |
|-----|------|-----------------------|-----------------------|-----------------------------|------------------------|------------------------|------------------------------|--------------------------------|------------------------------|
| 1   | TC1  | 527.1                 | 2528.1                | 0.0                         | 527.1                  | 2532.0                 | -430.7                       | -139339.8                      | 110.23                       |
| 2   | TC1  | 29.3                  | 140.6                 | 430.7                       | 0.0                    | 0.0                    | 0.0                          | 106.6                          | 3.08                         |

**JOINT DEFLECTIONS - Load Case: D+S**

| No. | Type | Horiz. Defl. (in) | Vert. Defl. (in) | Rotation (rad) |
|-----|------|-------------------|------------------|----------------|
| 1   | TC   | 0.0000            | 0.0000           | -0.0100077     |
| 2   | TC   | 0.0000            | 0.0000           | 0.0099922      |
| 3   | TC   | -0.0125           | 0.0599           | 0.0099914      |

**REACTIONS - Load Case: D+S**

| No.   | Horiz. (X) Location | Vertical (Y) Location | Horizontal Reaction (lb) | Vertical Reaction (lb) | Moment Reaction (ft-lb) |
|-------|---------------------|-----------------------|--------------------------|------------------------|-------------------------|
| 1     | 0'-0"               | 0'-0"                 | 0.4                      | 2582.4                 | 0.0                     |
| 2     | 18'-0"              | 3'-9"                 | -0.4                     | 2729.8                 | 0.0                     |
| Total |                     |                       | 0.0                      | 5312.3                 | 0.0                     |

**MEMBER CSI SUMMARY - Load Case: D+S**

| No. | Type | Lumber ID | Axial Force (lb) | Bending Moment (in-lb) | Shear Force (lb) | CSI Axial+ Flexure | CSI Shear |
|-----|------|-----------|------------------|------------------------|------------------|--------------------|-----------|
| 1   | TC1  | 2303      | -0.4             | -139339.8              | 0.0              | 0.900              | 0.000     |
| 2   | TC1  | 2303      | -29.3            | 430.7                  | -140.6           | 0.002              | 0.018     |



# RAFTER ANALYSIS

Job: 114576

Page: 3 of 3

Dealer: K-Van Construction

By: JRD

Owner: Hogeland Auto Plaza

Date: 12/08/2003

## DETAILED CSI CALCULATIONS FOR CRITICAL SECTION - Load Case: D+S

CSI CALCULATIONS FOR MEMBER 1 (TC1) - LOAD CASE: D+S

Critical Section 14 at 110.23 inches from left end of Member.  
 Maximum CSI = 0.900  
 Member Length = 220.638 (18'-4 5/8")

LUMBER DATA (Property Units: in)

| ID   | Plies        | Nom. Size | Species     | Grade             | Type    | Treated |       |
|------|--------------|-----------|-------------|-------------------|---------|---------|-------|
| 2303 | 1            | 1-1/2x16  | SP          | 2.0E MICROLAM LVL | LVL     | N       |       |
|      | Width        | Depth     | Area        |                   |         |         |       |
|      | 1.500        | 16.000    | 24.000      |                   |         |         |       |
|      | Ixx          | Sxt       | Sxb         | Iyy               | Syl     | Syr     |       |
|      | 512.000      | 64.000    | 64.000      | 4.500             | 6.000   | 6.000   |       |
|      | Moist. Cont. | Sp. Grav. | C. o. V. E. | Wt. /ft.          | Spacing | Service | Temp. |
|      | 15           | 0.50      | 0.10        | 7.00              | 0.0     | Dry     | 70    |

LOADS (lb or in-lb) (Axial compression is negative) (M and V are absolute values)

| Axial | Mx       | Vx   | My  | Vy  |
|-------|----------|------|-----|-----|
| -0.4  | 139339.8 | 0.00 | 0.0 | 0.0 |

DIMENSIONS AND SECTION PROPERTIES (in)

| Be    | BeC   | De     | DeC    | Area   | Sxx    | Syy   |
|-------|-------|--------|--------|--------|--------|-------|
| 1.500 | 1.500 | 16.000 | 16.000 | 24.000 | 64.000 | 6.000 |

EFFECTIVE LENGTHS (in)

| Lebx   | Leby   | Lecx    | Lecy   |
|--------|--------|---------|--------|
| 59.328 | 59.328 | 204.294 | 28.800 |

NDS TABULATED ALLOWABLE STRESSES AND MOD. OF ELASTICITY VALUES (psi or 10<sup>6</sup> psi)

| Fbx    | Fcx    | Ex   | Fby    | Fcy   | Ey   |
|--------|--------|------|--------|-------|------|
| 2750.0 | 880.0  | 2.00 | 3255.0 | 525.0 | 2.00 |
| Ft     | Fc     | E    | Fvx    | Fvy   |      |
| 1805.0 | 2365.0 | 2.00 | 285.0  | 190.0 |      |

NDS MODIFICATION FACTORS

| Cd    | Cr    | Kf    | Cs    | Cfu   | Cv    | Ch    | Cf    |
|-------|-------|-------|-------|-------|-------|-------|-------|
| 1.150 | 1.000 | 1.000 | 1.000 | 1.000 | 1.000 | 1.500 | 0.960 |

BEAM STABILITY FACTORS (Refer to NDS Section 3.3.3)

| CLx   | Rbx    | Kbe   | Fbex   | Fb*x   |
|-------|--------|-------|--------|--------|
| 0.797 | 20.540 | 0.610 | 2891.8 | 3036.0 |
| CLy   | Rby    | Kbe   | Fbey   | Fb*y   |
| 1.000 | 0.000  | 0.610 | 0.0    | 0.0    |

Rb = Sqrt(Lebx x De/Be<sup>2</sup>)      Fbe = Kbe x E'/Rb<sup>2</sup>

CL = (1+Fbe/Fb\*)/1.9-Sqrt(((1+Fbe/Fb\*)/1.9)<sup>2</sup>-Fbe/Fb\*/0.95)

COLUMN STABILITY FACTOR (Refer to NDS Sections 3.7.1 and 15.3.1)

| Cp    | Lecx/Dx | Lecy/Dy | Kce   | Fce    | c     | Fc*    |
|-------|---------|---------|-------|--------|-------|--------|
| 0.625 | 12.768  | 19.200  | 0.418 | 2267.8 | 0.800 | 2719.7 |

Fce = Kce x E'/(Lec/D)<sup>2</sup> (Maximum L/d is used)

Cp = Kf x [(1+Fce/Fc\*)/(2 x c)-Sqrt(((1+Fce/Fc\*)/(2 x c))<sup>2</sup>-Fce/Fc\*/c)]

MODIFIED ALLOWABLE STRESSES AND MOD. OF ELASTICITY VALUES (psi or 10<sup>6</sup> psi)

| Fbx    | Fcx    | Ex   | Fby    | Fcy   | Ey   |
|--------|--------|------|--------|-------|------|
| 2418.3 | 880.0  | 2.00 | 4491.9 | 525.0 | 2.00 |
| Ft     | Fc     | E    | Fvx    | Fvy   |      |
| 2075.7 | 1700.4 | 2.00 | 491.6  | 327.7 |      |

ACTUAL STRESSES (psi)

| fbx     | fby  | fc   | ft   | fvx  | fvy  |
|---------|------|------|------|------|------|
| 2177.18 | 0.00 | 0.02 | 0.00 | 0.00 | 0.00 |

COMBINED STRESS INDEX (CSI) (Refer to NDS Sections 3.9.1 and 3.9.2)

| FceX                   | FceY   | Ax. Term     | Fbx Term | Fby Term  |
|------------------------|--------|--------------|----------|-----------|
| 5127.8                 | 2267.8 | 0.000        | 0.900    | 0.000     |
| Flexure + Axial: 0.900 |        | Shear: 0.000 |          | Eq. 3.9-3 |

APPLICATION FOR DEMOLITION PERMIT

CITY OF MARSHALLTOWN BUILDING DEPARTMENT

DEMOLITION DEBRIS MUST BE DEPOSITED AT AN APPROVED LANDFILL

Owner of Property: Lyle E. Hogeland

Address of Owner: 1408 East Main Street

Demolition Site: 1408 East Main Street

Description of Structure: Wood Frame Dwelling

Demolition Contractor: Con-Struct Inc.

Demolition Contractor's Address: 1710 East Main Street

\*Is the Demolition Site to be used for a parking lot after Demolition? YES If yes, the Zoning Administrator should be contacted for Approval prior to Demolition Permit Issuance.

Utilities Disconnected By: Gas/Electric: Alliant Energy

\*Sewer laterals shall be abandoned at the property line by a Licensed Plumber, with the abandonment inspected by the City of Marshalltown Sewer Department.

\*\*Plumber: Bjelland Plumbing

\*The Marshalltown Water Works must be notified prior to Demolition for removal of water meter and water service shall be abandoned by a Licensed Plumber and inspected by a Water Works Inspector.

\*\*Plumber: Bjelland Plumbing

Date Demolition Project Will Start: February 5, 2007

Date Demolition Project Will Be Completed: March 5, 2007

Protective Devices: For the safety of the general public, the area of Demolition work must be posted and enclosed with a fence or other means and kept in good order for the entire length of time of the demolition work.

If at any time during Demolition period a serious or dangerous condition exists and is not abated, the City may remove the dangerous condition and charge the cost of such work to the property owner.

Signature Owner/Contractor: X PAID BY CHECK RECEIPT # 001-05117470 1/5/07

Liability Insurance Carrier: Koehler Insurance

Permit Number: 22683 Date Issued: January 4, 2007

Building Official: Vicki A. Rasmussen

\*Note: all information on this application shall be considered as part of the permit at the time of issuance.

CITY OF MARSHALLTOWN, IOWA  
 BUILDING DEPARTMENT  
 APPLICATION FOR BUILDING PERMIT  
 641-754-5737

DATE: 1-3-07

OWNER'S NAME LYLE E. HOGLAND PHONE 641-752-0027  
 ADDRESS OF PROPOSED CONSTRUCTION 1408 E. MAIN ST MARSHALLTOWN  
 GENERAL CONTRACTOR CONSTRUCT INC PHONE 752-1865  
 ADDRESS 1710 E. MAIN ST MARSHALLTOWN  
 IOWA REGISTRATION NUMBER \_\_\_\_\_ EXPIRATION DATE \_\_\_\_\_  
 LIABILITY INSURANCE CARRIER ROEHLER INS.  
 CURRENT CERTIFICATE OF INSURANCE ON FILE? YES \_\_\_\_\_ NO \_\_\_\_\_  
 ELECTRICAL CONTRACTOR BITEWAY Elect.  
 PLUMBING CONTRACTOR BJELLAND PIPES  
 MECHANICAL CONTRACTOR Biteway Elec / CONSTRUCT INC

DESCRIPTION OF WORK CHECK APPROPRIATE SPACE \$ \_\_\_\_\_

NEW \_\_\_\_\_ REPAIR \_\_\_\_\_

ALTERATION \_\_\_\_\_ REMODEL \_\_\_\_\_  
 ENLARGE \_\_\_\_\_ DEMOLISH   
 SATELLITE \_\_\_\_\_  
 BUILDING USE: \_\_\_\_\_

DESCRIBE SCOPE OF WORK: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

SIZE X SQ. FT. \_\_\_\_\_  
 NUMBER OF STORIES 2

BASEMENT  CRAWL SPACE \_\_\_\_\_  
 CELLAR \_\_\_\_\_ OTHER \_\_\_\_\_

THIS FORM IS TO ACCOMPANY REQUIRED PLANS, FLOOR PLANS, ELEVATIONS, CROSS SECTION DETAILS AND OTHER INFO AS MAY BE REQUIRED.

APPLICANT'S SIGNATURE  


THIS IS ONLY AN APPLICATION—WORK IS NOT TO BE STARTED UNTIL A BUILDING PERMIT IS GRANTED.

ESTIMATE COST OF CONSTRUCTION (TO INCLUDE LABOR, MATERIALS, PLUMBING, ELECTRICAL, MECHANICAL ETC.)

SPECIFICATIONS

FOUNDATION

MATERIAL SIZE \_\_\_\_\_  
 FOOTING SIZE \_\_\_\_\_  
 PIERS (NUMBER & SIZE) \_\_\_\_\_  
 DEPTH IN GROUND \_\_\_\_\_  
 FRAME SIZE SPACING SPAN

GIRDERS-BEAMS \_\_\_\_\_  
 FLOOR JOIST \_\_\_\_\_  
 RAFTERS \_\_\_\_\_  
 EXTERIOR WALLS \_\_\_\_\_  
 INTERIOR WALLS \_\_\_\_\_  
 CEILING JOIST \_\_\_\_\_

SUBFLOOR \_\_\_\_\_  
 ROOF PITCH \_\_\_\_\_

COVERINGS - SPECIFY TYPE & THICKNESS

INTERIOR WALL \_\_\_\_\_  
 EXTERIOR WALL \_\_\_\_\_  
 CEILING \_\_\_\_\_  
 ROOFING \_\_\_\_\_

MISCELLANEOUS INFORMATION

START TIME: MID FEBRUARY  
 FINISH TIME: END FEBRUARY

**CITY OF MARSHALLTOWN, IOWA**  
**COMMERCIAL, MULTI-FAMILY, INDUSTRIAL, INSTITUTIONAL USE**  
**CITY CHECK OFF LIST**

**Applicant Information**

Applicant's Name: Hogeland Body Shop & Salvage Phone: 752-0027  
 Address of Request: 1408 E. Main Street  
 Zoning District: m-2 Map Number 5-20  
 Legal Description: \_\_\_\_\_  
Parcel 07-25-476-007

**Zoning**

**Primary Use**

Use Office  
 \_\_\_\_\_ Front Yard (Corner lot) \_\_\_\_\_  
 Front - 45' Ft. Required 0'  
 Side - 0' + 110' Ft. Required 0'  
n/a Rear - \_\_\_\_\_ Ft. Required 0'  
 Height - 1 story Ft. Maximum 4 stories  
n/a Parking spaces - \_\_\_\_\_ Required \_\_\_\_\_  
n/a Loading spaces - \_\_\_\_\_ Required \_\_\_\_\_  
n/a Driveway Permit required: Yes \_\_\_\_\_ No \_\_\_\_\_  
n/a Paving requirement met: Yes \_\_\_\_\_ No \_\_\_\_\_  
n/a Multi-family uses: Lot Area: \_\_\_\_\_ Required \_\_\_\_\_  
n/a Multi-family uses: Number of units \_\_\_\_\_

**Accessory Buildings**

~~\_\_\_\_\_~~ Side setback \_\_\_\_\_ Ft. (3 ft. min., more if in side yard)  
~~\_\_\_\_\_~~ Rear setback \_\_\_\_\_ Ft. (3 ft. minimum)  
 \_\_\_\_\_ Distance from primary structure or other structure (5 ft. min.)  
 \_\_\_\_\_ Percent of rear yard \_\_\_\_\_ % (30% max)  
 \_\_\_\_\_ Height \_\_\_\_\_ Ft. (max 15 ft. mean height)  
 \_\_\_\_\_ Square footage \_\_\_\_\_ (900 s.f. maximum)  
 \_\_\_\_\_ Driveway Permit required: Yes \_\_\_\_\_ No \_\_\_\_\_  
 \_\_\_\_\_ Paving requirement met: Yes \_\_\_\_\_ No \_\_\_\_\_

**Aesthetics and Visuals**

~~\_\_\_\_\_~~ Review by Site Plan Review Bd. Yes \_\_\_\_\_ No \_\_\_\_\_ NA \_\_\_\_\_  
~~\_\_\_\_\_~~ Screening of dumpsters: Yes \_\_\_\_\_ No \_\_\_\_\_ NA \_\_\_\_\_  
~~\_\_\_\_\_~~ Submission of signage plans: Yes \_\_\_\_\_ No \_\_\_\_\_ NA \_\_\_\_\_  
~~\_\_\_\_\_~~ Proposed landscaping: Yes \_\_\_\_\_ No \_\_\_\_\_ NA \_\_\_\_\_  
~~\_\_\_\_\_~~ Elevations for site plan review: Yes \_\_\_\_\_ No \_\_\_\_\_ NA \_\_\_\_\_

**Engineering**

9) Will use encroach upon any easements: Yes \_\_\_ No

A. If so which ones \_\_\_\_\_

Will use encroach upon any sewers: Yes \_\_\_ No

10) Is the use in the floodplain: Yes \_\_\_ No

A. Will it comply with all floodplain standards? (Please provide details)

Yes \_\_\_ No \_\_\_

Details: \_\_\_\_\_

11) Locate nearest and proposed fire hydrants: Yes \_\_\_ No \_\_\_ NA ?

12) Detailed storm water management plan: Yes \_\_\_ No \_\_\_ NA None Shown

13) Traffic circulation and parking plan: Yes \_\_\_ No \_\_\_ NA ?

14.) Are sidewalks required to be installed: Yes \_\_\_ No  NA \_\_\_

15.) Entrance permit application Yes \_\_\_ No \_\_\_ NA

**Action**

**Zoning Comments:**

\_\_\_\_\_ Site plan review required by Chapter 5, Zoning Ordinance of 1998.

\_\_\_\_\_ Date Approved \_\_\_\_\_ Attach Requirements.

\_\_\_\_\_ Variance granted \_\_\_\_\_

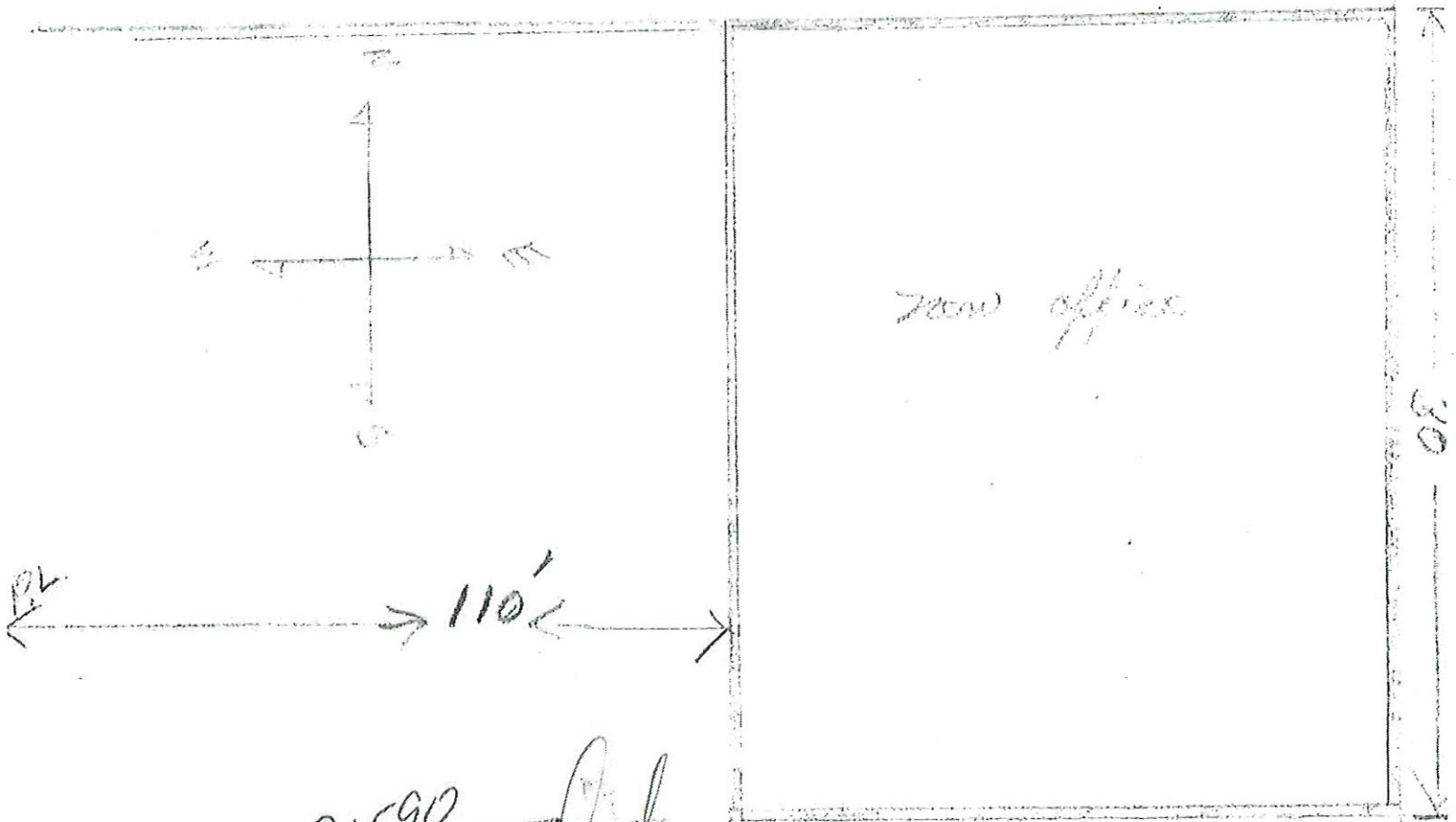
\_\_\_\_\_ Other: \_\_\_\_\_

Zoning Officer approval Michael S. [Signature] Date: 8/14/02

**Public Works Comments:**

Public Works approval Wayne [Signature] Date: 8-20-02

old strip



110'

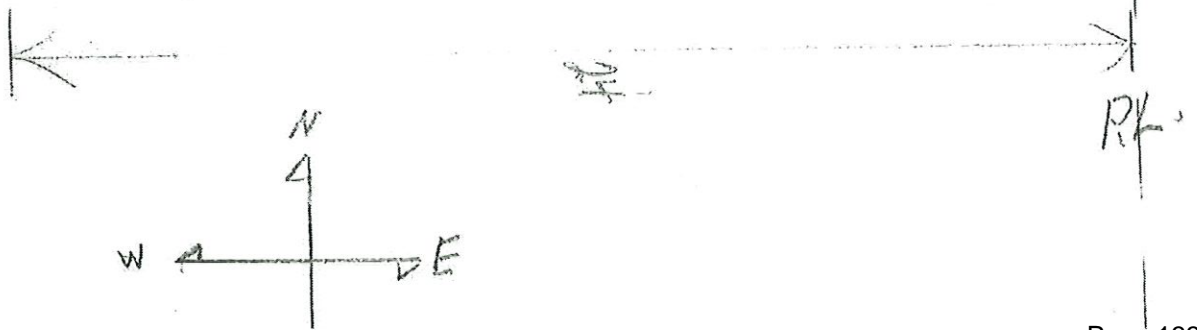
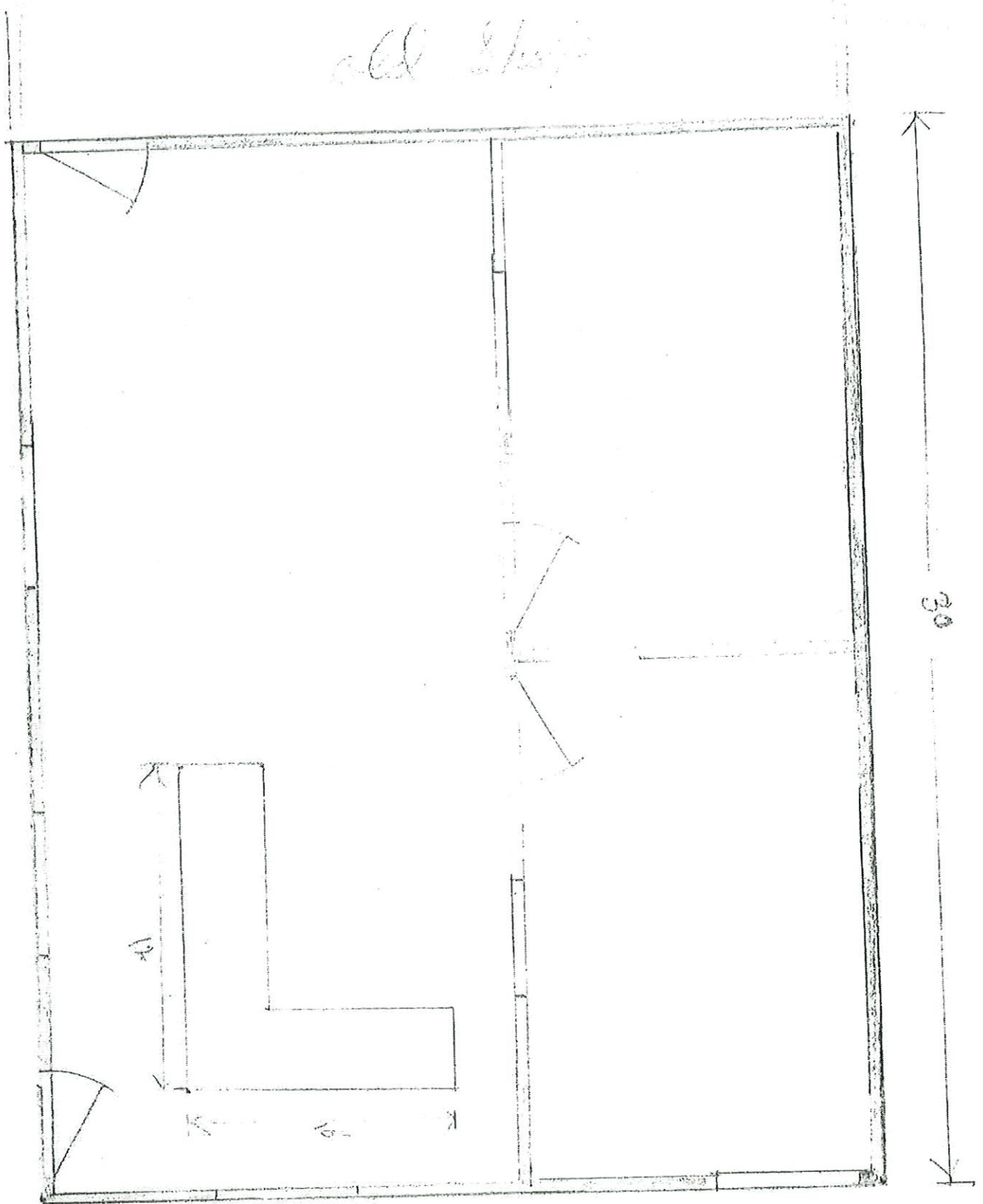
30'

new office

Building Permit Number 21590  
 Date permit issued 8.22.02  
 City Building Official [Signature]  
 Fire Marshal [Signature]

These plans have been reviewed by the above City Officials  
 and found to be in compliance except as otherwise noted.  
 The issuance or granting of a permit or approval of plans or  
 specifications shall not be construed to be a permit for, or an  
 approval of, any violation of any of the provisions of the  
 legally adopted Code of Ordinances for the City of Houston.

old steps



Commercial Use

- 1) Applicants Name: HOGELAND BODY SHOP
- 2) Address of Request: 1403 E. MAIN
- 3) Zoning: M-2
- 4) Application Use: STORAGE - BODY SHOP
- 5) Legal description for lot: (attached) SEE ATTACHED
- 6) Check all those that apply for primary lot use:

Use: (please list) BODY SHOP (STORAGE GARAGE)  
 Parking: No. \_\_\_\_\_  
 Loading: No. \_\_\_\_\_  
 Height Regulations \_\_\_\_\_ Ft.  
 Front 60 Ft.  
 Side 32 Ft.  
 Rear \_\_\_\_\_ Ft.

7) If it is an accessory use please check whether it meets the following:

Side \_\_\_\_\_ Ft.  
 Rear \_\_\_\_\_ Ft.  
 % of lot \_\_\_\_\_ %

8) Will the use encroach upon any easements: Yes \_\_\_\_\_ No  ?  
 Will the use encroach upon any sewers: Yes \_\_\_\_\_ No

9) Is the use in the floodplain: Yes \_\_\_\_\_ No   
 A. If yes, please detail whether it complies:

\_\_\_\_\_  
 \_\_\_\_\_

10) Indicate Zoning action:

Meets all zoning requirements  
 \_\_\_\_\_ Needs variance for what \_\_\_\_\_  
 \_\_\_\_\_ Needs rezoning.

Zoning Officer approval Mark He

Date: June 14, 1996

Engineer approval Wayne Blanton

Date: 6-14-96

**CITY OF MARSHALLTOWN, IOWA**  
**COMMERCIAL, MULTI-FAMILY, INDUSTRIAL, INSTITUTIONAL USE**  
**CITY CHECK OFF LIST**

**Applicant Information**

Applicant's Name: Lonnie Hogeland Phone: 752-0027  
 Address of Request: 1408 E. Main St.  
 Zoning District: M-2 Map Number J-20  
 Legal Description: \_\_\_\_\_

Parcel 07-25-476-007

**Zoning**

**Primary Use**

Use Storage (Addition)  
 Front Yard (Corner lot) \_\_\_\_\_  
 Front - 1 block Ft. attach Required 0'  
 Side - 4' to existing Ft. to Required 0'  
 Rear - ~2 blocks Ft. existing Required 0'  
 Height - 1 Story Ft. Maximum 4 Story  
na Parking spaces - \_\_\_\_\_ Required \_\_\_\_\_  
na Loading spaces - \_\_\_\_\_ Required \_\_\_\_\_  
na Driveway Permit required: Yes \_\_\_\_\_ No \_\_\_\_\_  
na Paving requirement met: Yes \_\_\_\_\_ No \_\_\_\_\_  
na Multi-family uses: Lot Area: \_\_\_\_\_ Required \_\_\_\_\_  
na Multi-family uses: Number of units \_\_\_\_\_

**Accessory Buildings**

Side setback \_\_\_\_\_ Ft. (3 ft. min., more if in side yard)  
 Rear setback \_\_\_\_\_ Ft. (3 ft. minimum)  
 \_\_\_\_\_ Distance from primary structure or other structure (5 ft. min.)  
 \_\_\_\_\_ Percent of rear yard \_\_\_\_\_ % (30% max)  
 \_\_\_\_\_ Height \_\_\_\_\_ Ft. (max 15 ft. mean height)  
 \_\_\_\_\_ Square footage \_\_\_\_\_ (900 s.f. maximum)  
 \_\_\_\_\_ Driveway Permit required: Yes \_\_\_\_\_ No \_\_\_\_\_  
 \_\_\_\_\_ Paving requirement met: Yes \_\_\_\_\_ No \_\_\_\_\_

**Aesthetics and Visuals**

Review by Site Plan Review Bd. Yes \_\_\_\_\_ No \_\_\_\_\_ NA \_\_\_\_\_  
 Screening of dumpsters: Yes \_\_\_\_\_ No \_\_\_\_\_ NA \_\_\_\_\_  
 Submission of signage plans: Yes \_\_\_\_\_ No \_\_\_\_\_ NA \_\_\_\_\_  
 Proposed landscaping: Yes \_\_\_\_\_ No \_\_\_\_\_ NA \_\_\_\_\_  
 Elevations for site plan review: Yes \_\_\_\_\_ No \_\_\_\_\_ NA \_\_\_\_\_

**Engineering**

9) Will use encroach upon any easements: Yes  No

A. If so which ones \_\_\_\_\_

Will use encroach upon any sewers: Yes  No

10) Is the use in the floodplain: Yes  No  Zone "B" 500 yr Flood Zone

A. Will it comply with all floodplain standards? (Please provide details)

Yes  No  FEMA FIRM # 190200-0002B

Details: Property is in a 500 yr. Flood Zone

11) Locate nearest and proposed fire hydrants: Yes  No  NA

12) Detailed storm water management plan: Yes  No  NA

13) Traffic circulation and parking plan: Yes  No  NA

14.) Are sidewalks required to be installed: Yes  No  NA

15.) Entrance permit application Yes  No  NA

**Action**

**Zoning Comments:**

\_\_\_\_\_ Site plan review required by Chapter 5, Zoning Ordinance of 1998.

\_\_\_\_\_ Date Approved \_\_\_\_\_ Attach Requirements.

\_\_\_\_\_ Variance granted \_\_\_\_\_

\_\_\_\_\_ Other: \_\_\_\_\_

Zoning Officer approval  Date: 12-16-03

**Public Works Comments:**

Public Works approval  Date: 12/16/03

CITY OF MARSHALLTOWN, IOWA  
 BUILDING DEPARTMENT  
 APPLICATION FOR BUILDING PERMIT

DATE Dec 10 2003

OWNER'S NAME Honnie Hogeland PHONE 641-952-0027  
 ADDRESS OF PROPOSED CONSTRUCTION 1408 East Main St.  
 GENERAL CONTRACTOR K-Van Construction PHONE 641-648-4122  
 ADDRESS Box 666 Iowa Falls Ia. 50126  
 IOWA REGISTRATION NUMBER 81401-03  
 LIABILITY INSURANCE CARRIER Acuty  
 CURRENT CERTIFICATE OF INSURANCE ON FILE? YES  NO   
 ELECTRICAL CONTRACTOR NA  
 PLUMBING CONTRACTOR NA  
 MECHANICAL CONTRACTOR NA

#21968  
 12/18/03

DESCRIPTION OF WORK CHECK APPROPRIATE SPACE

NEW \_\_\_\_\_ REPAIR \_\_\_\_\_  
 ALTERATION \_\_\_\_\_ REMODEL \_\_\_\_\_  
 ENLARGE  DEMOLISH \_\_\_\_\_  
 SATELLITE \_\_\_\_\_  
 BUILDING USE: Storage  
 DESCRIBE SCOPE OF WORK:  
attach lean-to on to existing

SIZE 18 x 80 SQ. FT. 1440  
 NUMBER OF STORIES 1

BASEMENT NA CRAWL SPACE NA  
 CELLAR NA OTHER NO

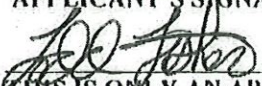
SPECIFICATIONS

FOUNDATION Column-poured  
 MATERIAL & SIZE  
 FOOTING SIZE  
 PIERS (NUMBER & SIZE) 12 - 8" x 18" poured.  
 DEPTH IN GROUND 48"

| FRAME          | SIZE         | SPACING      | SPAN       |
|----------------|--------------|--------------|------------|
| GIRDERS-BEAMS  | <u>NA</u>    |              |            |
| FLOOR JOIST    | <u>NA</u>    |              |            |
| RAFTERS        | <u>X</u>     | <u>8'oc.</u> | <u>18"</u> |
| EXTERIOR WALLS | <u>Steel</u> |              |            |
| INTERIOR WALLS |              |              |            |
| CEILING JOIST  | <u>2x6</u>   | <u>32"</u>   | <u>8'</u>  |
| SUBFLOOR       | <u>NA</u>    |              |            |
| ROOF PITCH     | <u>2.5</u>   | <u>in 12</u> |            |

THIS FORM IS TO ACCOMPANY REQUIRED PLANS, FLOOR PLANS, ELEVATIONS, CROSS SECTION DETAILS AND OTHER INFO AS MAY BE REQUIRED.

COVERINGS - SPECIFY TYPE & THICKNESS  
 INTERIOR WALL \_\_\_\_\_  
 EXTERIOR WALL Steel  
 CEILING NA  
 ROOFING Steel

APPLICANT'S SIGNATURE  
  
 THIS IS ONLY AN APPLICATION--WORK IS NOT TO BE STARTED UNTIL A BUILDING PERMIT IS GRANTED.

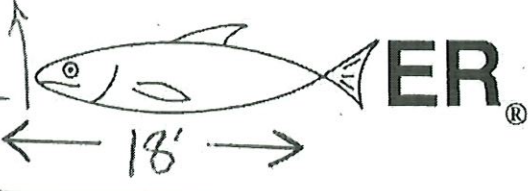
MISCELLANEOUS INFORMATION  
Hester Uni-frame system

ESTIMATE COST OF CONSTRUCTION (TO INCLUDE LABOR, MATERIALS, PLUMBING, ELECTRICAL, MECHANICAL ETC.)  
 \$ 10,422.00

\$18,000.00  
\$293.00

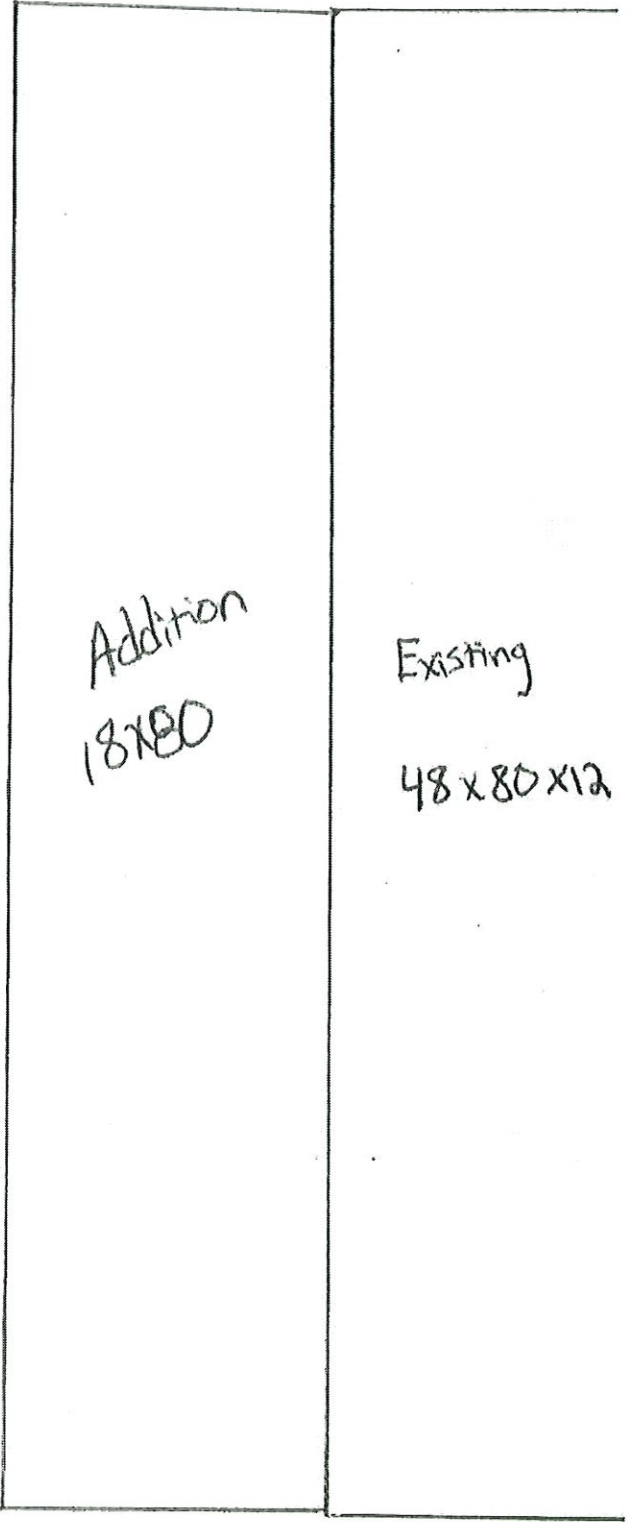


↑  
Property line  
2 blocks



Hogeland Auto Plaza.  
641-752-0027

Building Permit Number 31968  
Date permit issued 12-18-03  
City Building Official [Signature]  
City Marshal [Signature]  
These plans have been reviewed by the above City Officials and found to be in compliance with the Ordinance which governs the issuance of permits of this nature. It is hereby approved for the City of Des Moines.  
1 block  
to prop  
line



Scale 1" = 10'

Property line  
1 block  
↓

K-VAN CONSTRUCTION CO., INC.

Box 666 • Iowa Falls, Iowa 50126  
Phone 641-648-4122 • FAX 641-648-4971 • 1-800-735-4122



**Lester Building Systems**  
 A Division of Butler Manufacturing Company  
 1111 Second Avenue South • Lester Prairie, MN 55354  
 Phone (320) 395-2531 • Fax (320) 395-2969  
 www.lesterbuildings.com

December 8, 2003

K-Van Construction Co.  
 515 Cadet Road  
 P.O. Box 666  
 Iowa Falls, IA 50126

Re: Lonnie Hogeland  
 Hogeland Auto Plaza  
 1408 East Main  
 Marshalltown, IA 50158

Building Description: 18' x 80' x 8' Lean-to Addition  
 Lester Order: #114576

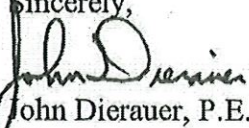
To Whom It May Concern:

Please accept this letter as our certification that the Lester components of the subject building are designed in accordance with the National Design Specification for Wood Construction (NDS). The building is attached to the side of a 48' x 80' x 12' Lester Building that was constructed in 2000.

Loads applied to the building are in accordance with the 1997 edition of the Uniform Building Code (UBC) and the Iowa State Building Code 900.0. The building is designed for a 30 psf roof live load and an 80 mph exposure B wind load.

The allowable soil bearing pressure is assumed to be 3500 psf.

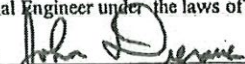
The standard Lester components when properly erected in accordance with the erection drawings as supplied, and using the components furnished, will meet the above loading requirements without exceeding the allowable working stress. This certification does not cover field modifications or design of materials not furnished by Lester Building Systems.

Sincerely,  
  
 John Dierauer, P.E.  
 Structural Engineer  
 Lester Building Systems

Encl:  
 Cc: Order File #114576



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Signature:   
 John Dierauer  
 Date: 12/08/03 License number: 9632  
 My license renewal date is December 31, 2004

Pages or sheets covered by this seal:  
 This letter & rafter design calcs 1 to 3



**Lester Building Systems**  
A Division of Butler Manufacturing Company  
1111 Second Avenue South • Lester Prairie, MN 55354  
Phone (320) 395-2531 • Fax (320) 395-2969  
www.lesterbuildings.com

December 8, 2003

K-Van Construction Co.  
515 Cadet Road  
P.O. Box 666  
Iowa Falls, IA 50126

Re: Lonnie Hogeland  
Hogeland Auto Plaza  
1408 East Main  
Marshalltown, IA 50158

Building Description: 18' x 80' x 8' Lean-to Addition  
Lester Order: #114576

To Whom It May Concern:


Please accept this letter as our certification that the Lester components of the subject building are designed in accordance with the National Design Specification for Wood Construction (NDS). The building is attached to the side of a 48' x 80' x 12' Lester Building that was constructed in 2000.

Loads applied to the building are in accordance with the 1997 edition of the Uniform Building Code (UBC) and the Iowa State Building Code 900.0. The building is designed for a 30 psf roof live load and an 80 mph exposure B wind load.

The allowable soil bearing pressure is assumed to be 3500 psf.

The standard Lester components when properly erected in accordance with the erection drawings as supplied, and using the components furnished, will meet the above loading requirements without exceeding the allowable working stress. This certification does not cover field modifications or design of materials not furnished by Lester Building Systems.


Sincerely,

  
John Dierauer, P.E.  
Structural Engineer  
Lester Building Systems

Encl:  
Cc: Order File #114576



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Signature:   
John Dierauer  
Date: 12/08/03 License number: 9632  
My license renewal date is December 31, 2004

Pages or sheets covered by this seal:  
This letter & rafter design calcs 1 to 3

Hogeland Body Shop  
1408 E. MAIN ST.  
Marshalltown, IA 50158

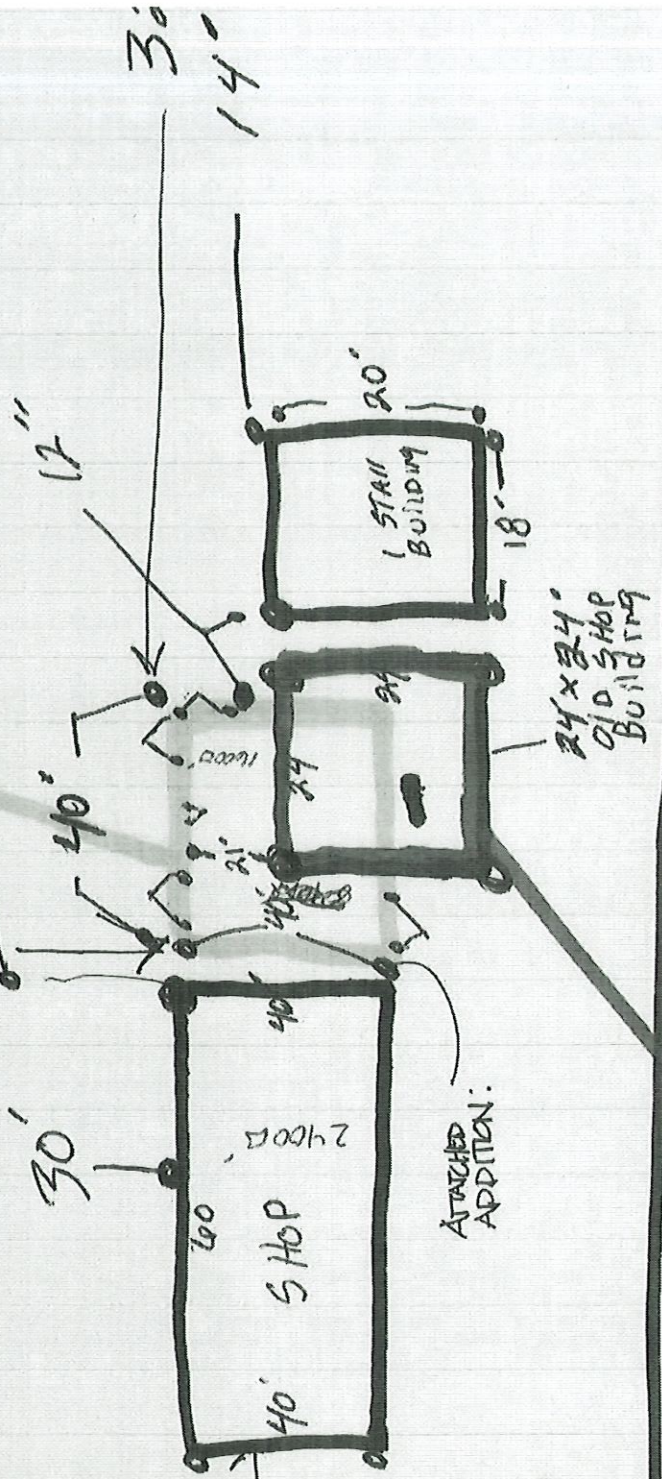
EAST BOUNDARY LINE

752 0087  
LONNIE HOGELAND  
ORLYE HOGELAND

1408  
House

1408 E. MAIN ST.

NEW BUILDING  
NEW PROJECT



NEW BUILDING  
40' X 40' X 12' SIDEWALK  
WITH 2- 12' X 12' DOORS  
WITH 2 10' X 12' DOORS  
WITH 1 WALK IN DOOR

OLD  
BUILDING  
TO BE TORN  
DOWN

RECEIVED JUN 17 1996



*Lester Building Systems  
A Division of Butler Manufacturing Company  
P.O. Box 37 • Lester Prairie, MN 55354  
Phone (612) 395-2531 • Fax (612) 395-2969*

August 6, 1996

Mr. Todd Fisher  
K Van Construction  
Highway 65  
Iowa Falls, Iowa 50126

RE: Lonnie Hogeland Job  
40 x 40 x12' UNI-I Addition  
Marshalltown, Iowa

Dear Mr. Fisher,

This letter is to certify that Lester Building Systems will design the building referenced above in accordance with the 1994 edition of the Uniform Building Code. The design loads and site categories used will be as shown below:

**Soil:**

3000 PSF allowable soil bearing pressure (assumed.)

**Snow:**

30 PSF roof design snow load

Snow exposure coefficient,  $C_e$ , of 0.7 (not in a densely forested or sheltered area.)

**Wind:**

80 MPH basic wind speed

Wind Exposure B (urban, suburban or wooded area.)

**Use Group:**

Group S (storage)

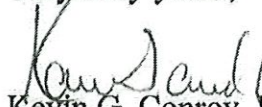
**Construction Type:**

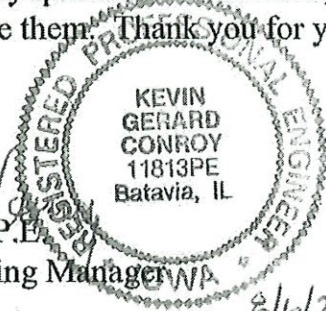
Type VN (combustible, unprotected)

Lester Building Systems will provide a set of construction drawings for this building. The structural building components, with the exception of the concrete, will be provided by Lester Building Systems. The building will be erected by K Van Construction.

Should you have any questions or concerns, please contact us as soon as possible so that we may resolve them. Thank you for your assistance with this project.

Very truly yours,

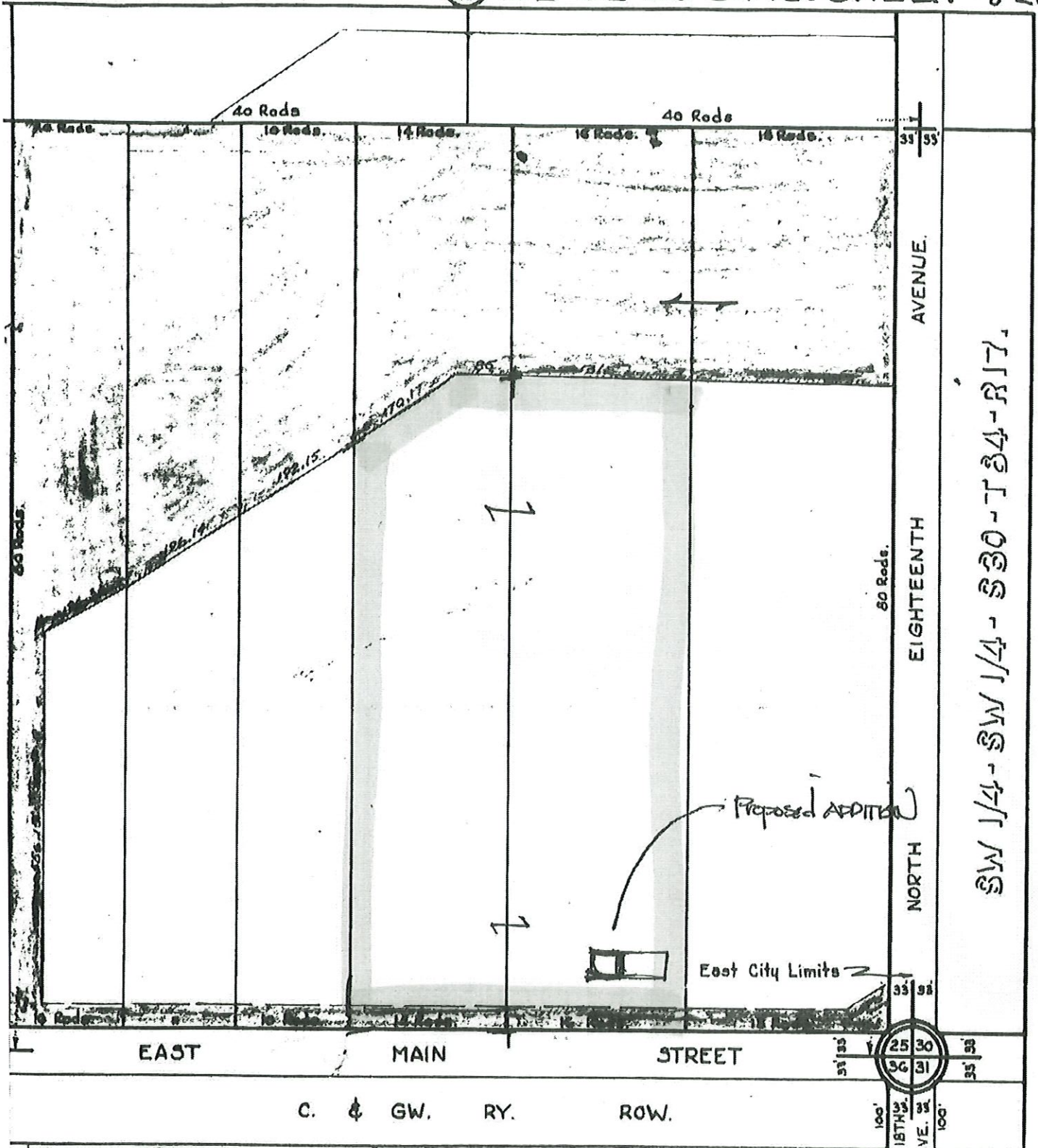
  
Kevin G. Conroy, P.E.  
Regional Engineering Manager



8/6/20

copy file  
John Taylor

(20) DE CE 200410. JUNE 1 - J 20



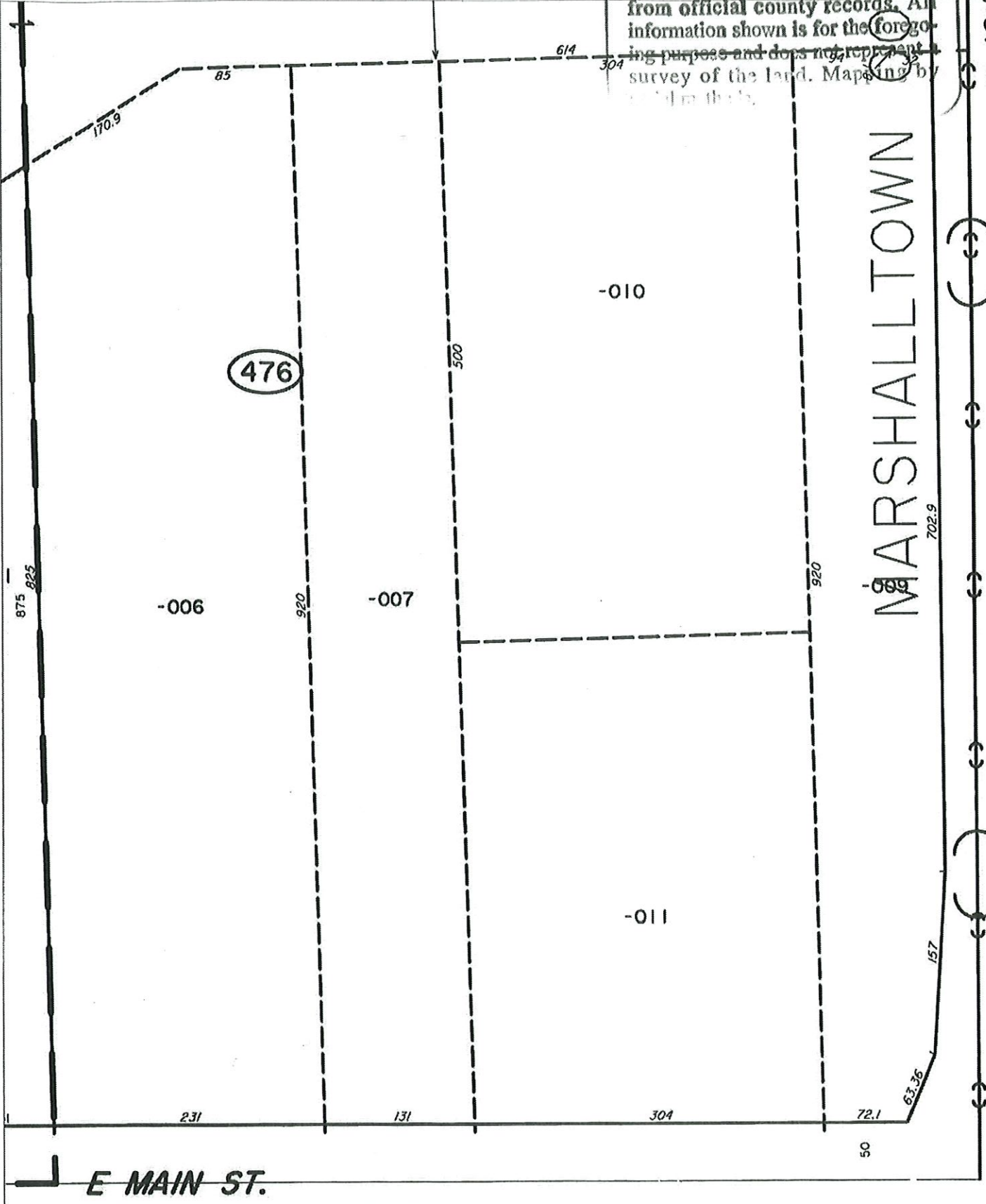
SW 1/4 - SW 1/4 - S30 - T34 - R17.

RECEIVED JUN 17 1996

These tax maps were compiled for assessment and tax information, from official county records. All information shown is for the foregoing purpose and does not represent a survey of the land. Mapping by [unclear]

f:\grain\dgn\0725-.dgn Jun. 12. 1996 15:00:01

N 1811



MARSHALLTOWN

E MAIN ST.

CITY OF MARSHALLTOWN, IOWA  
 BUILDING DEPARTMENT  
 APPLICATION FOR BUILDING PERMIT

DATE \_\_\_\_\_

OWNER'S NAME Sonnie Hogeland PHONE 752 0027  
 ADDRESS OF PROPOSED CONSTRUCTION \_\_\_\_\_  
 GENERAL CONTRACTOR Sonnie Hogeland PHONE \_\_\_\_\_  
 ADDRESS 1408 East Main Street  
 IOWA REGISTRATION NUMBER \_\_\_\_\_ EXPIRATION DATE \_\_\_\_\_  
 LIABILITY INSURANCE CARRIER \_\_\_\_\_  
 CURRENT CERTIFICATE OF INSURANCE ON FILE? YES \_\_\_\_\_ NO \_\_\_\_\_  
 ELECTRICAL CONTRACTOR ?  
 PLUMBING CONTRACTOR ?  
 MECHANICAL CONTRACTOR \_\_\_\_\_

DESCRIPTION OF WORK CHECK  
 APPROPRIATE SPACE

NEW  REPAIR \_\_\_\_\_  
 ALTERATION \_\_\_\_\_ REMODEL \_\_\_\_\_  
 ENLARGE \_\_\_\_\_ DEMOLISH \_\_\_\_\_  
 SATELLITE \_\_\_\_\_  
 BUILDING USE: office 24'x30'  
 DESCRIBE SCOPE OF WORK:  
East wall P.L. fire wall  
South wall sheetrock  
West wall sheetrock  
North sheetrock siding steel  
 SIZE 24' X 30' SQ. FT. 720  
 NUMBER OF STORIES \_\_\_\_\_  
 BASEMENT \_\_\_\_\_ CRAWL SPACE \_\_\_\_\_  
 CELLAR \_\_\_\_\_ OTHER  SLAB

SPECIFICATIONS

8'x42" w/2#4 REBAR TIED IN PLACE  
 FOUNDATION  
 MATERIAL & SIZE \_\_\_\_\_  
 FOOTING SIZE 8" x 42"  
 PIERS (NUMBER & SIZE) \_\_\_\_\_  
 DEPTH IN GROUND \_\_\_\_\_  
 FRAME SIZE, SPACING SPAN  
TREATED PLATE w/anchors  
 GIRDERS-BEAMS \_\_\_\_\_  
 FLOOR JOIST \_\_\_\_\_  
 RAFTERS Truss 24" o.c. w/30lb snow load minimum  
 EXTERIOR WALLS 2x4 16" o.c.  
 INTERIOR WALLS 2x4 16" o.c.  
 CEILING JOIST TRUSSES  
 SUBFLOOR Concrete  
 ROOF PITCH 4/12  
 DOUBLE TOP PLATE - 3 STUDS PER CORNER  
 Plywood / OSB CORNER BRACING

THIS FORM IS TO ACCOMPANY REQUIRED  
 PLANS, FLOOR PLANS, ELEVATIONS, CROSS  
 SECTION DETAILS AND OTHER INFO AS  
 MAY BE REQUIRED.

APPLICANT'S SIGNATURE

THIS IS ONLY AN APPLICATION - WORK IS  
 NOT TO BE STARTED UNTIL A BUILDING  
 PERMIT IS GRANTED.

ESTIMATE COST OF CONSTRUCTION (TO  
 INCLUDE LABOR, MATERIALS, PLUMBING,  
 ELECTRICAL, MECHANICAL ETC.)

\$ \_\_\_\_\_

\$18,000.00  
 \$293.00

COVERINGS - SPECIFY TYPE & THICKNESS

INTERIOR WALL Sheetrock 5/8"  
 EXTERIOR WALL Steel 1/2"  
 CEILING Sheetrock  
 ROOFING Steel 16" Duclins  
 HEADERS ABOVE OPENINGS \_\_\_\_\_

MISCELLANEOUS INFORMATION

East wall on P.L. ONE HOUR FIREWALL  
to be fire wall  
 CALL FOR: FOOTING INSPECTION  
FRAMING INSPECTION  
DRYWALL/FIREWALL INSPECTION  
FINAL INSPECTION  
20 MINUTE RATED LABELED DOOR BETWEEN  
SHOP & OFFICE

#21590

HBS  
 HBS

CITY OF MARSHALLTOWN, IOWA

COMMERCIAL, MULTI-FAMILY, INDUSTRIAL, INSTITUTIONAL USE  
CITY CHECK OFF LIST

7-25-476-007

Base Information

- 1) Applicants Name: Hogeland Body Shop
- 2) Address of Request: 1408 E Main St
- 3) Zone: M-2
- 4) Application Use: New storage building
- 5) Map Number J20 Legal Description: 25.84.18 W 131' OF E 18 ACRES  
SE SE EX BEG NW COR OF W' 131' OF 18 ACRES THEN E (31' S 35'  
Zoning W 131' THEN N 350' TO PDB

6) Check all those that are met for primary lot use if that is the intention of permit. (Check NA if it does not apply)

- NA
- Use:(list) \_\_\_\_\_
- Front - 360 Ft.
- Side - 0 Ft.
- Rear - 921 Ft.
- Height - 12 Ft.
- N/A Parking: Required No. \_\_\_\_ Proposed No. \_\_\_\_
- N/A Loading: Required No. \_\_\_\_ Proposed No. \_\_\_\_

7) If it is an accessory please answer the following:

- Facing in place
- Conforms to side \_\_\_\_\_ Ft.
- Conforms to rear \_\_\_\_\_ Ft.
- Conforms to percent of the lot \_\_\_\_\_ %
- Conforms to height \_\_\_\_\_ Ft.

8) Aesthetics and visuals

- Screening of dumpsters: Yes \_\_\_\_\_ No \_\_\_\_\_ NA X
- Submission of signage plans: Yes \_\_\_\_\_ No \_\_\_\_\_ NA X
- Proposed landscaping: Yes \_\_\_\_\_ No \_\_\_\_\_ NA X
- Elevations for site plan review: Yes \_\_\_\_\_ No \_\_\_\_\_ NA X

**Engineering**

- 9) Will use encroach upon any easements: Yes \_\_\_\_\_ No   
A. If so which ones \_\_\_\_\_  
Will use encroach upon any sewers: Yes \_\_\_\_\_ No
  
- 10) Is the use in the floodplain: Yes \_\_\_\_\_ No   
A. Will it comply with all floodplain standards? (Please provide details) Yes \_\_\_\_\_ No \_\_\_\_\_  
Details: \_\_\_\_\_
  
- 11) Locate nearest and proposed fire hydrants:  
Yes \_\_\_\_\_ No \_\_\_\_\_ NA \_\_\_\_\_ ?
  
- 12) Detailed storm water management plan:  
Yes  No \_\_\_\_\_ NA \_\_\_\_\_
  
- 13) Traffic circulation and parking plan:  
Yes \_\_\_\_\_ No \_\_\_\_\_ NA \_\_\_\_\_

**Action**

- 14) Indicate Zoning Action.
  - A.  Meets all zoning requirements.
  - B. \_\_\_\_\_ Needs variance for \_\_\_\_\_ Approved \_\_\_\_\_
  - C. \_\_\_\_\_ Needs to be rezoned.
  - D. \_\_\_\_\_ Other: (list) \_\_\_\_\_
  - E. \_\_\_\_\_ Site plan review required by Chapter 5, Zoning Ordinance of 1998. Approved \_\_\_\_\_  
Requirements: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Zoning Officer approval W. J. Grotz  
Date: 6/21/00

City Engineer approval Wayne Blanton  
Date: 6-21-00

CITY OF MARSHALLTOWN, IOWA  
BUILDING DEPARTMENT  
APPLICATION FOR BUILDING PERMIT

DATE June 13, 2000

OWNER'S NAME Lonnie Hogeland PHONE 515-752-0027  
 ADDRESS OF PROPOSED CONSTRUCTION 1408 East Main Street  
 GENERAL CONTRACTOR K-Van Construction Co., Inc. PHONE 515-648-4122  
 ADDRESS P.O. Box 666 Iowa Falls, Iowa 50126  
 IOWA REGISTRATION NUMBER 54226-99  
 LIABILITY INSURANCE CARRIER Heritage Insurance  
 CURRENT CERTIFICATE OF INSURANCE ON FILE? YES  NO   
 ELECTRICAL CONTRACTOR N/A  
 PLUMBING CONTRACTOR N/A  
 MECHANICAL CONTRACTOR N/A

**DESCRIPTION OF WORK CHECK APPROPRIATE SPACE**

NEW  REPAIR \_\_\_\_\_  
 ALTERATION \_\_\_\_\_ REMODEL \_\_\_\_\_  
 ENLARGE \_\_\_\_\_ DEMOLISH \_\_\_\_\_  
 SATELLITE \_\_\_\_\_  
 BUILDING USE: Storage  
 DESCRIBE SCOPE OF WORK: \_\_\_\_\_  
Construct metal building on owner's level site.

---

SIZE 48 X 80 SQ. FT. 3,840  
 NUMBER OF STORIES 1

---

BASEMENT N/A CRAWL SPACE N/A  
 CELLAR N/A OTHER N/A

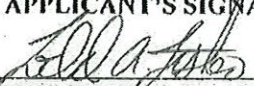
**SPECIFICATIONS**

**FOUNDATION**  
 MATERIAL & SIZE Ready Mix & column  
 FOOTING SIZE 18" X 8" & 22" X 8"  
 PIERS (NUMBER & SIZE) 34 - 18"x8" & 22"x8"  
 DEPTH IN GROUND 4'

| FRAME                      | SIZE | SPACING | SPAN   |
|----------------------------|------|---------|--------|
| GIRDERS-BEAMS              | N/A  |         |        |
| FLOOR JOIST                | N/A  |         |        |
| <del>ROOFING</del> Trusses | 48'  | 8'o.c.  | 48'    |
| EXTERIOR WALLS             | 2x6  | 32"     | 8'o.c. |
| INTERIOR WALLS             | N/A  |         |        |
| CEILING JOIST              | 2x4  | 8'o.c.  |        |
| SUBFLOOR                   | N/A  |         |        |
| ROOF PITCH                 | 4:12 |         |        |

THIS FORM IS TO ACCOMPANY REQUIRED PLANS, FLOOR PLANS, ELEVATIONS, CROSS SECTION DETAILS AND OTHER INFO AS MAY BE REQUIRED.

**COVERINGS - SPECIFY TYPE & THICKNESS**  
 INTERIOR WALL N/A  
 EXTERIOR WALL Steel  
 CEILING N/A  
 ROOFING Steel

APPLICANT'S SIGNATURE  
  
 THIS IS ONLY AN APPLICATION--WORK IS NOT TO BE STARTED UNTIL A BUILDING PERMIT IS GRANTED.

MISCELLANEOUS INFORMATION \$46,000.00  
Uni-Frame I Lester Building \$602.00

ESTIMATE COST OF CONSTRUCTION (TO INCLUDE LABOR, MATERIALS, PLUMBING, ELECTRICAL, MECHANICAL ETC.)  
\$ 25,000.00

6-20-2000

J, Jim Lanterna (98)

---

Agree TO LET THE HOGLAND'S  
LYHE AND LONNIE HOGLAND SR.

BUILD A BUILDING DIRECTLY ON  
THE PROPERTY LINE WITH OUT  
RAIN GUTTERS KNOWING SOME  
RAIN WATER WILL RUN ON TO  
OUR LAND THE SMALL AMOUNT  
OF WATER SHOULD NOT HARM  
US THE BUILDING IS  
80 FEET NORTH TO SOUTH  
48 FEET EAST TO WEST

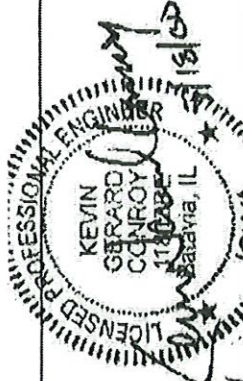
HOGLAND BODY SHOP  
1108 E. Main St.  
Marshalltown, IA 50158  
(515) 752-0027

THANK YOU

HOGLAND BODY SHOP  
Jim Lanterna

X Jim Lanterna

---



THE SEAL AFFIXED HEREON INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY FOR THIS DESIGN ONLY. OTHER DOCUMENTS WHICH MAY BE INCLUDED WITH THIS DESIGN THAT DO NOT BEAR MY SEAL, HAVE NEITHER BEEN PREPARED BY ME NOR UNDER MY DIRECT SUPERVISION.

PLATE SLOT DIRECTION AND PLATE ORIENTATION IS INDICATED BY HASHMARKS.

MEMBER SIZES AND GAGES SHOWN ARE SELECTED FROM TRUSS FABRICATOR PLATE INVENTORY.

MEMBERS ARE SUPPORTED BY MEANS OF A LEDGER STRIP OR PURLIN HANGERS.

MAXIMUM SPACING OF LATERAL BRACING OF BOTTOM CHORD, IN TENSION IS 10 FT. BOTTOM CHORD IN COMPRESSION REQUIRES LATERAL BRACING AT 24 INCHES ON CENTER.

CAMBER TRUSS 1/4" AT CENTERLINE.

TRIANGULAR TRUSS NDS-91  
 NDS9SP / T4T80C4 / 727015 / 90252  
 DES: SGC CHK: TPI-95  
 05-18-2000

TOP CHORD LIVE LOAD 30.00 PSF  
 TOP CHORD DEAD LOAD 4.00 PSF  
 BOTTOM CHORD LOAD 5.00 PSF  
 TOTAL UNIFORM LOAD 39.00 PSF

LOAD DURATION FACTOR 1.5x

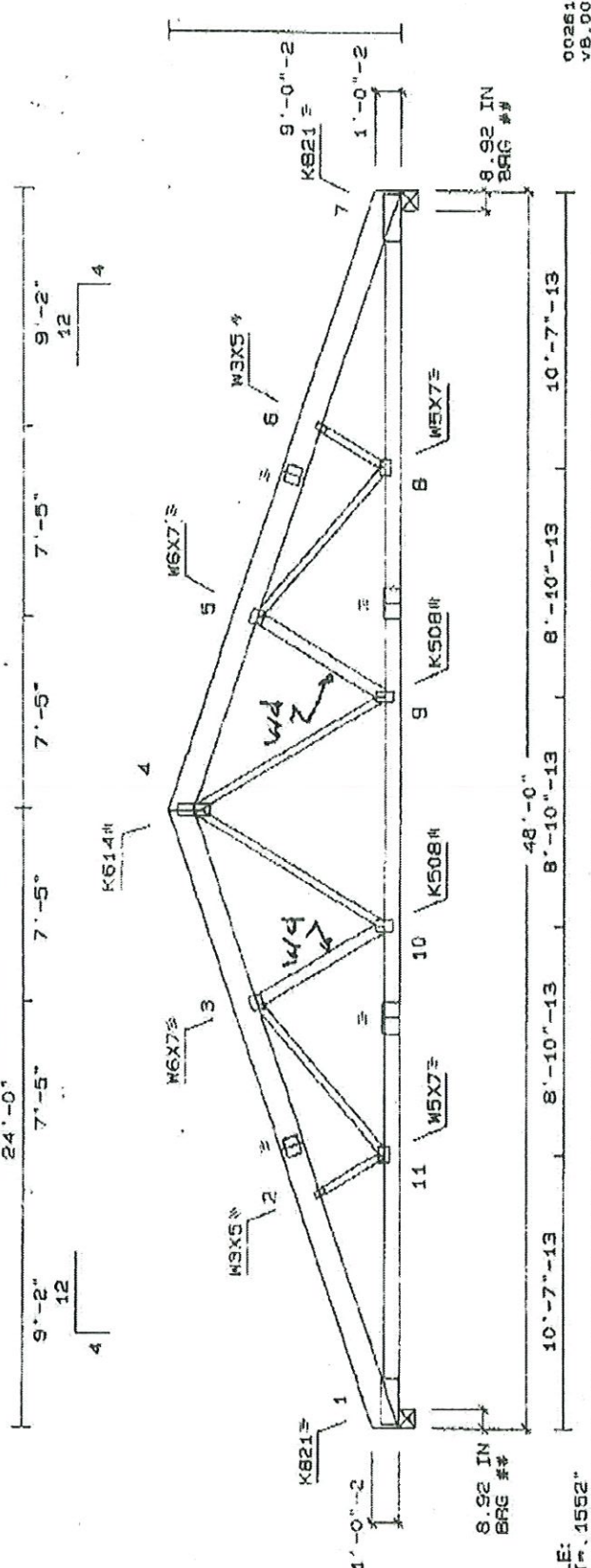
TRUSS SPACING: 8.00 FT. CENTERS  
 PURLIN SPACING: 32.00 IN. CENTERS

REactions: VERT. HOR.  
 1 7488 0  
 7 7488 0

MEMBER FORCE LBR MEMBER FORCE LBR  
 11-2 -18865 T1 7-8 17884 B1  
 2-3 -17874 T1 8-9 14463 B1  
 1-4 -13560 T1 9-10 11032 B2  
 4-5 -13500 T1 10-11 14463 B2  
 5-6 -17874 T1 11-1 17884 B1  
 6-7 -18865 T1

| TOP AXIAL MEMBER FORCE LBR | SOI   | AXIAL MEMBER FORCE LBR | RES  | AXIAL MEMBER FORCE LBR | RES  | AXIAL MEMBER FORCE LBR |
|----------------------------|-------|------------------------|------|------------------------|------|------------------------|
| 1-2 -18865 T1              | 7-8   | 17884 B1               | 11-2 | -2138 W1               | 11-3 | 3388 W1                |
| 2-3 -17874 T1              | 8-9   | 14463 B1               | 10-3 | -3358 W3               | 10-4 | 3791 W1                |
| 1-4 -13560 T1              | 9-10  | 11032 B2               | 9-4  | 3731 W1                | 9-5  | -3158 W1               |
| 4-5 -13500 T1              | 10-11 | 14463 B2               | 8-5  | 3388 W1                | 8-6  | -2138 W1               |
| 5-6 -17874 T1              | 11-1  | 17884 B1               |      |                        |      |                        |
| 6-7 -18865 T1              |       |                        |      |                        |      |                        |

SPACES: 2- 3-K708  
 PLATES: 5- 6-K708  
 11-10-KS814  
 9- 8-KS814



General Notes: unless otherwise noted above, furnish a copy of this design to the building designer and contractor. This design is based on the design of the building designer and is not to be used for any other purpose. Design dimensions shall be verified by building designer. Design calculations are available from Lumbermate (LMI). This design is for a truss, which is a composite of steel and wood. Trusses shall be used in enclosed buildings in non-corrosive environments with adequate ventilation. Calculate vertical deflection for live load for roof trusses and roof trusses without ceilings. L780 for overhangs and roof trusses without ceilings.

Center may be required to compensate for actual dead load deflection. Erection bracing and permanent bracing are always required. Refer to Lumbermate (LMI) for details of erection bracing. Do not cut any of the truss members. Bottom chords including those with purlinbacks or framing, require continuous lateral support (sheathing or purlin). Truss erection and bracing details shall be transferred to the building structure.

Trusses with sloped bottom chords are subject to horizontal displacements and/or transfer of horizontal forces to the bearings. Locations of lateral web bracing required to resist bearing are shown on the drawings. Design for a design for trusses shall be manufactured to the specifications of LMI. Plate orientation is shown by plate slot direction -- Refer to LMI specifications for plate slot orientation specifications. Chord truss plates as specified and manufactured by Lumbermate.

002610  
 V.B. 00

SCALE: 1 FT. = 1552"

LUMBERMATE  
 Division of Alpine Engineering Processes, Inc.  
 Copyright © 2000

LMI - Truss Plate Institute  
 NDS - National Design Specification for Wood Construction



Lester Building Systems  
A Division of Butler Manufacturing Company  
P.O. Box 19 • Charleston, IL 61920  
Phone: (217) 348-7676 • Fax: (217) 345-4016

May 18, 2000

Marshalltown Building Department  
Mr. Scott Riemenschneider  
Marshalltown, Iowa

RE: 48 x 80 x 12' UNI-I Building  
Hogeland Body Shop  
Marshalltown, Iowa  
Our Project #210378

Dear Mr. Riemenschneider,

The project described above is for use as a commercial building. The applicable design loads and site categories are as indicated below:

**Building Code:**

1997 Uniform Building Code

**Soil:**

3000 psf allowable soil bearing pressure (assumed.)

**Snow:**

30 psf design roof snow load.

**Roof dead load:**

4 psf top chord

5 psf bottom chord.

**Wind:**

80 mph; exposure 'B.'

The structural building components, except concrete floor and footings, are provided by Lester Building Systems. The building will be erected by K-Van Construction of Iowa Falls, Iowa.

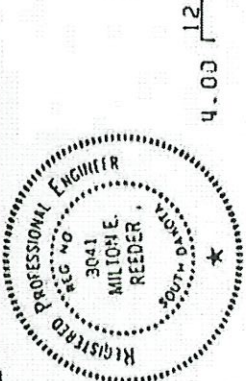
Please give me a call if you have any further questions on this.

Very truly yours,

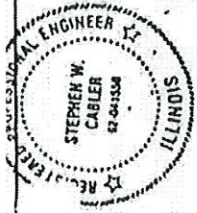
*Kevin Gerard Conroy*  
Kevin Gerard Conroy; S.E., P.E.  
Senior Engineer

|  |   |
|--|---|
|  | I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.            |
|  | <p><i>Kevin Gerard Conroy</i> 5/18/00</p> <hr/> Kevin Gerard Conroy<br>My license renewal date is December 31, 2001<br>Pages or sheets covered by this seal:<br><i>This letter &amp; truss design</i> |

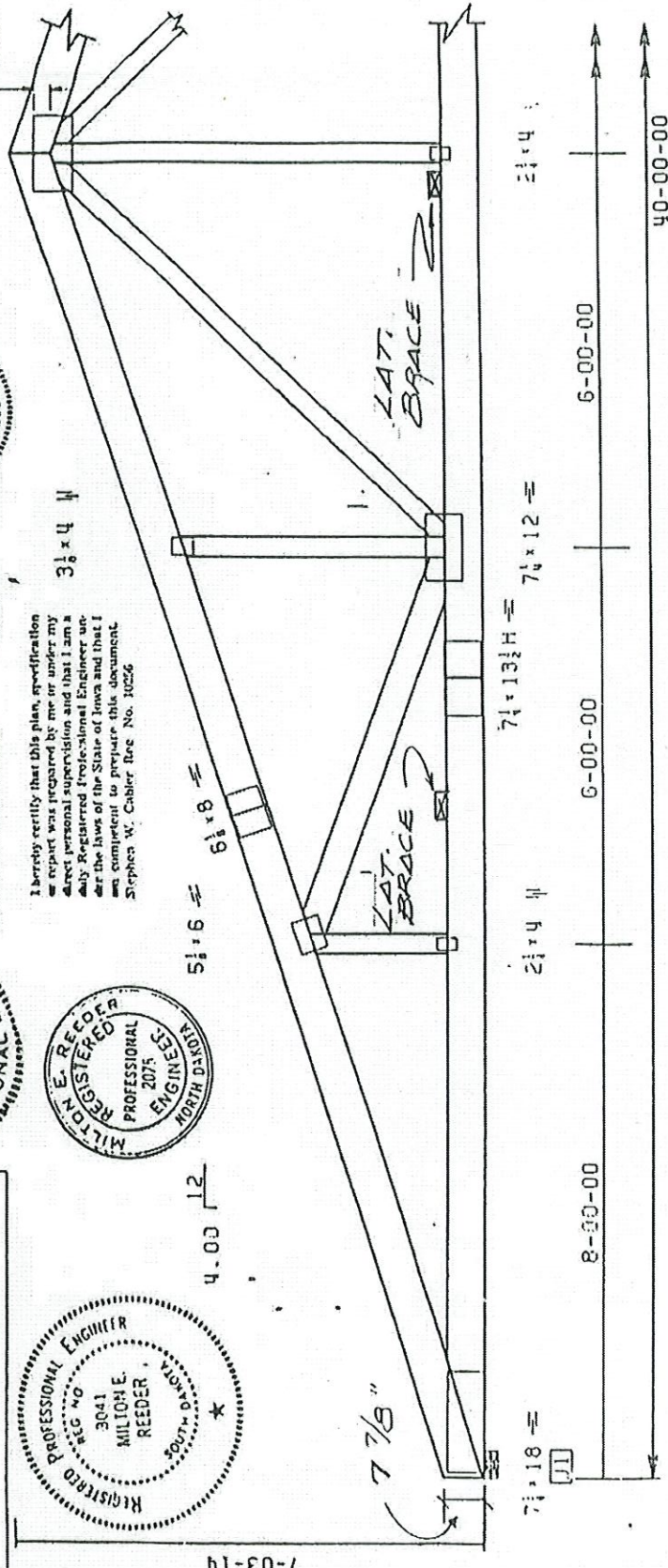
JOB 841683  
 TYPE 1299 9/17/84  
 23 OF 62



SEP 18 1984  
 DAH



I hereby certify that this plan, specification or report was prepared by me or under my direct personal supervision and that I am a duly Registered Professional Engineer under the laws of the State of Iowa and that I am competent to prepare this document.  
 Stephen W. Cabler Reg. No. 10226



TCLL = 30.0 PSF SPACING = 6-00-00 REACTIONS MIN L/DEF = 40' / 0.77" = 626, CMB = 0 1/4"  
 TCCL = 4.0 PSF INCREASE = 1.05 (LBS) BRG(IN) 20 GA. D PLATES 167 PSI NET (MAX)  
 BCCL = 0.0 PSF BUTT CUT = 0 1/4" 16 GA. H PLATES 137, PSI NET (MAX)  
 BCCL = 5.5 PSF J 1 = -4740 4.8 J 7 = -4740 4.8 \*\* SEE NOTE ON PURLINS \*\*  
 MIDWEST MANUFACTURING

CONFORMS TO UBC, ICDD 1591, WIS  
 TOP CHORD - CSR = 0.999 - - - - - BOTTOM CHORD - CSR = 0.842 - - - - - WEBS - CSR = 0.974 - - - - -  
 2X 8 DN SS-KD-15 SYP 2X 8 DN SS-KD-15 SYP 2X 4 NO 3 KD-15 SYP \*EXCEPT\*  
 C 1 = -11991 C 2 = -9743 C 3 = -9743 C 10 = 7110 C 11 = 11376 C 12 = 11376 W 2 IS 2X 6 NO 2 KD-15 SYP  
 W 4 IS 2X 4 NO 2 KD-15 SYP  
 W 6 IS 2X 4 NO 2 KD-15 SYP  
 W 8 IS 2X 6 NO 2 KD-15 SYP  
 W 1 = 231 W 3 = -1224 W 5 = 198  
 W 2 = -2334 W 4 = 3180

1. TOP CHD PURLIN SPCG = 24.0 IN. PURLINS TO BE DESIGNED BY OTHERS.
2. PLATING CONFORMS TO WISCONSIN DILIR NO. 820502.
3. ALL PLATES ARE D PLATES UNLESS OTHERWISE INDICATED.

HYDRO-AIR ENGINEERING, INC.

PO BOX 7351  
 ST LOUIS, MISSOURI 63172

Design void for use with Hydro-Air connectors only. This truss designed at request and specification of customer as an individual building component to be incorporated into building design of building designer. Design shown is for lateral support of individual web members only. Additional temporary bracing to insure stability during construction is the responsibility of the erector. Additional permanent bracing of the overall structure is the responsibility of the building designer. Top chord must be sheathed throughout or pultrins provided at prescribed spacing. Design and materials are in accordance with latest editions of AISC and AISI specifications for general guidance regarding fabrication, quality control, storage, delivery.



**APPLICATION FOR DEMOLITION PERMIT  
CITY OF MARSHALLTOWN BUILDING DEPARTMENT  
DEMOLITION DEBRIS MUST BE DEPOSITED AT AN APPROVED LANDFILL**

Owner of Property: Lyle Hogeland  
Address of Owner: 1406 East Main Street  
Demolition Site: 1406 East Main Street  
Description of Structure: Wood Frame Dwelling  
Demolition Contractor: Con-Struct Inc.  
Demolition Contractor's Address: 1710 East Main Street

\*Is the Demolition Site to be used for a parking lot after Demolition? YES If yes, the Zoning Administrator should be contacted for Approval prior to Demolition Permit Issuance.

Utilities Disconnected By: Gas/Electric: Alliant Energy

\*Sewer laterals shall be abandoned at the property line by a Licensed Plumber, with the abandonment inspected by the City of Marshalltown Sewer Department.

\*\*Plumber: Central Iowa Plumbing

\*The Marshalltown Water Works must be notified prior to Demolition for removal of water meter and water service shall be abandoned by a Licensed Plumber and inspected by a Water Works Inspector. \*\*Plumber: Central Iowa Plumbing

Date Demolition Project Will Start: November 8, 2016

Date Demolition Project Will Be Completed: December 8, 2016

Protective Devices: For the safety of the general public, the area of Demolition work must be posted and enclosed with a fence or other means and kept in good order for the entire length of time of the demolition work.

If at any time during Demolition period a serious or dangerous condition exists and is not abated, the City may remove the dangerous condition and charge the cost of such work to the property owner.

Signature Owner/Contractor: X For LYLE HOGELAND [Signature] EX.

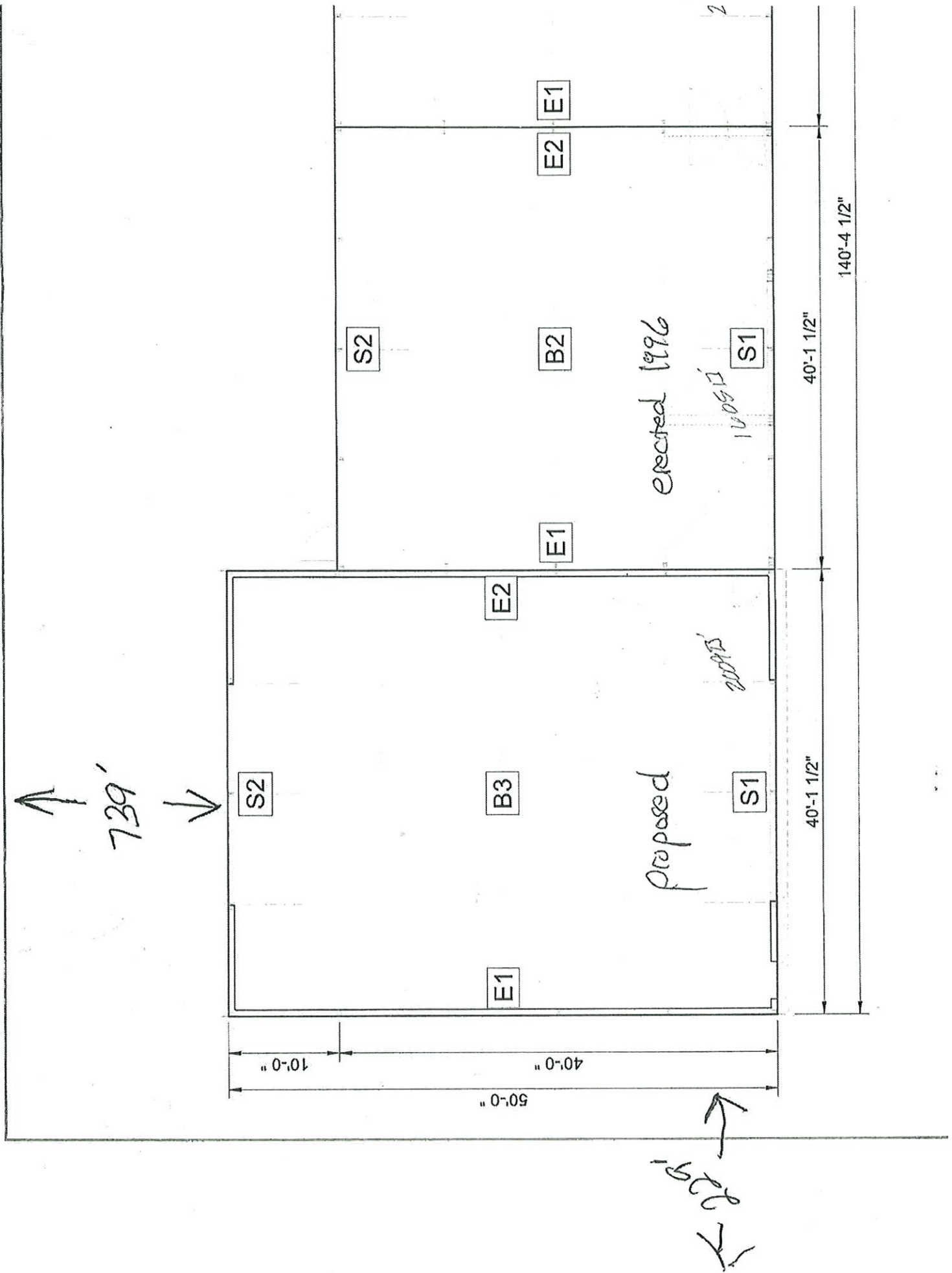
Liability Insurance Carrier: Shomo-Madsen Insurance

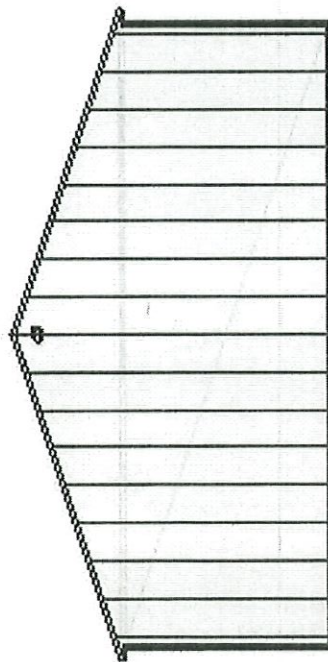
Permit Number: 24303 Date Issued: November 7, 2016

Building Official: [Signature]

\*Note: all information on this application shall be considered as part of the permit at the time of issuance.

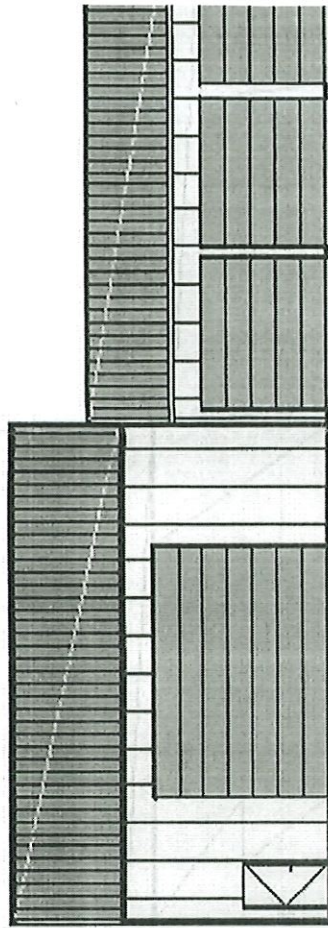
\*This application and any permit that may be granted in response thereto are subject to all laws of the State of Iowa and all ordinances of the City of Marshalltown, Iowa that may have a bearing on the same.





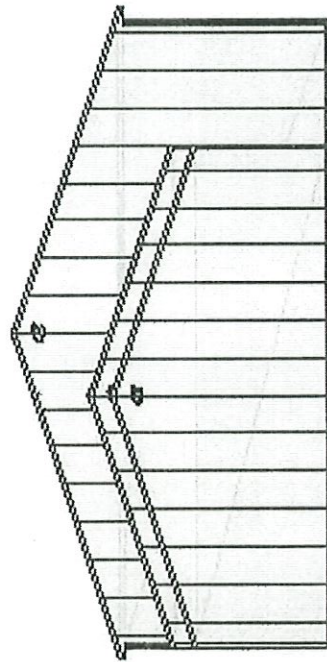
ENDWALL 1 ELEVATION

A2



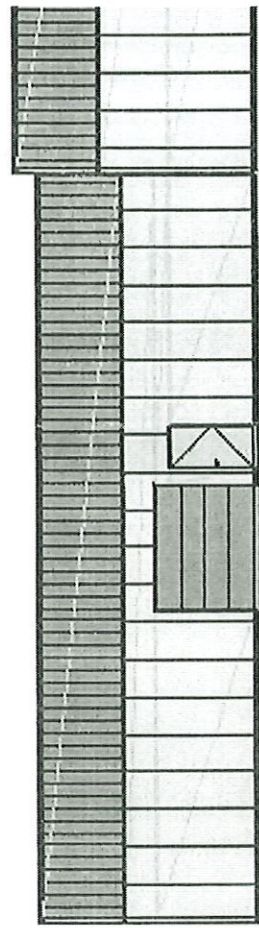
SIDEWALL 1

B2



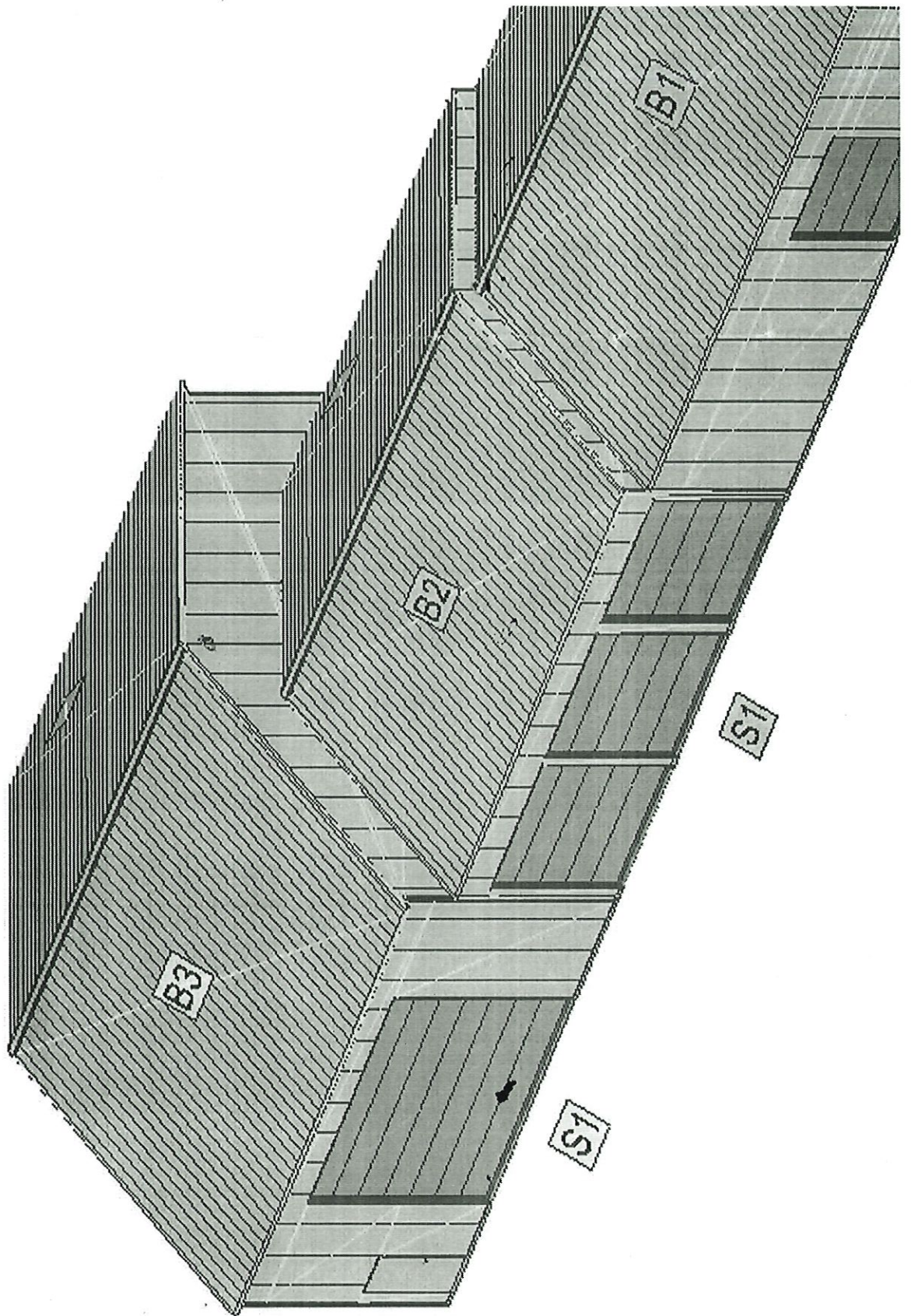
ENDWALL 2 ELEVATION

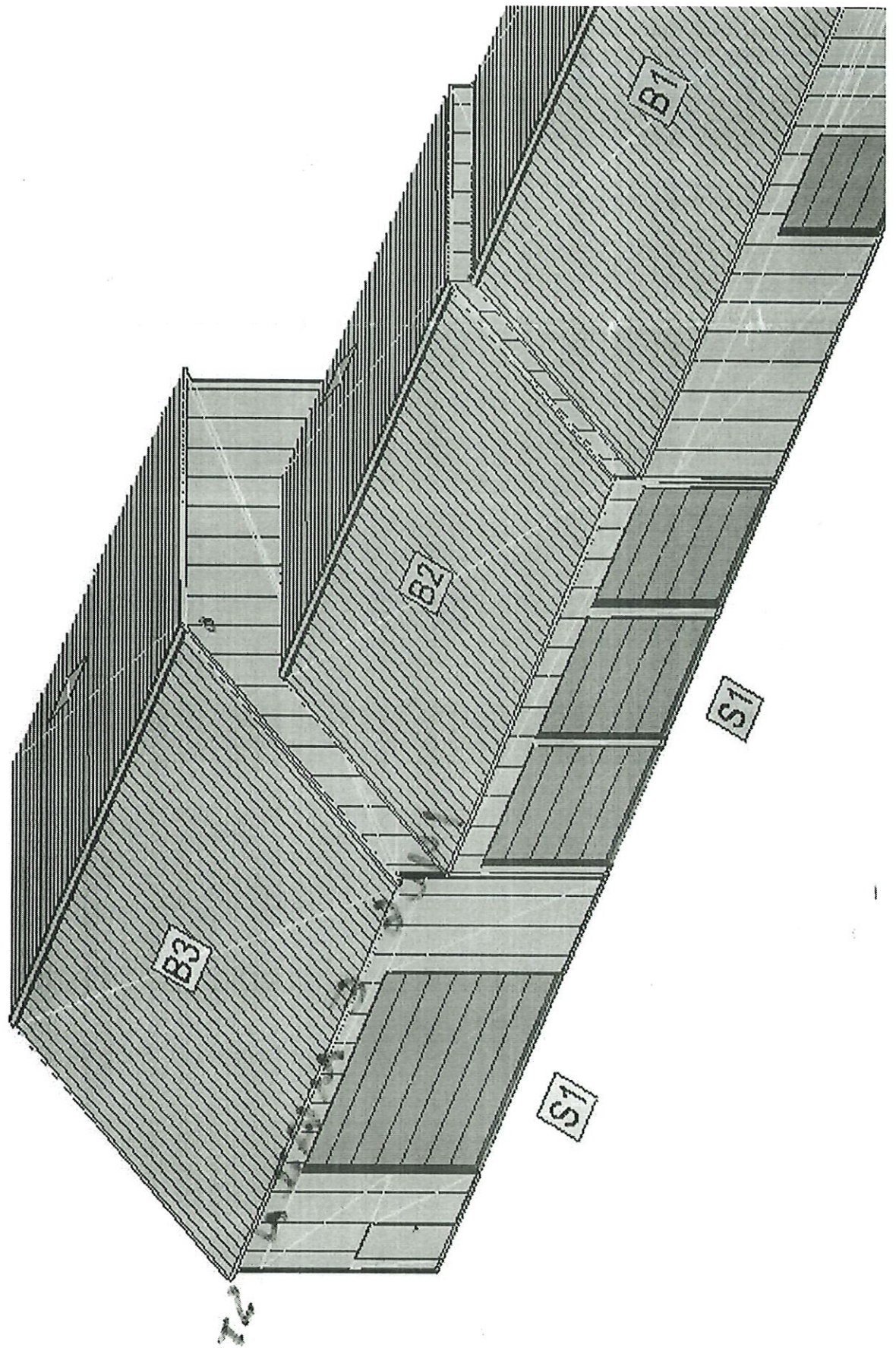
C2



SIDEWALL 2

D2





HOUSE / BREAK AREA / LOUNGE -- REASONS TO STAY

1408 E MAIN ST -- PURCHASED 06/03/1966 PAID OFF 06/17/1974

1406 E MAIN ST -- PURCHASED 11-15-1979 PAID OFF 01/02/1990

24/7 EMERGENCY TOWING SERVICES

FAST RESPONSE TIMES

ACCESS TO IMPOUND 24/7 FOR MPD, MARSHALL COUNTY SHERIFF AND IOWA STATE PATROL

BREAK AREA FOR ALL CO-WORKERS

APPROVED FIRE INSPECTION FOR THE LAST 2 YEARS

"QUIET" AREA FOR LONNIE WHEN HE HAS A MIGRAINE

3 ROOMS CAN BE USED FOR OFFICE SPACE OR BEDROOM

BATHROOM IS ADA COMPLIANT

OUTDOOR AREA FOR BBQ'S

\$150,000 WORTH OF SALES LOT CONCRETE/CURB APPEAL

FIRE ESCAPE LADDERS FOR 2<sup>ND</sup> FLOOR

FIRE EXTINGUISHERS ON BOTH FLOORS

FIRE ESCAPE PLANS IN PLACE AND PRACTICED

DESIGNATED SLEEPING AREA SO FIRE DEPT. KNOWS WHERE TO LOOK

# MARSHALLTOWN

I O W A

HOUSING & COMMUNITY DEVELOPMENT

*I Reed Meeting City Hall WITH CLAYTON 8-8-25*

Deb Millizer, Director  
 Clayton Ender, Assistant Director  
 24 North Center Street  
 Marshalltown, IA 50158-4911  
 Tel - (641) 754-5756  
 Fax - (641) 754-5717

Case #: ZON-005948-2025  
 Service Date: August 5, 2025  
 Appeal Deadline: August 15, 2025 ✓  
 Compliance Date: September 4, 2025 ✓

*Reed SR  
8-8-25  
mail*

SENT VIA PRIORITY MAIL AND VIA CERTIFIED PRIORITY MAIL

LONNIE E HOGELAND *SR*  
 1408 E MAIN ST  
 MARSHALLTOWN IA 50158

**RE: NOTICE OF PROPERTY CODE VIOLATION AND ORDER TO ABATE**

Questions regarding this notice should be directed to Clayton Ender at [cender@marshalltown-ia.gov](mailto:cender@marshalltown-ia.gov) or 641-754-5756 Ext 3108.

*L. HOGELAND AUTO PLAZA LLC*

This letter is to notify you that property you own at 1408 E Main Street, Marshalltown, IA, 50158 (Herein after referred to as "SUBJECT PROPERTY") is in violation of various provisions of the Code of Ordinances of the City of Marshalltown, Iowa (Hereinafter referred to as "CITY CODE").

The following table identifies the sections of City Code in which the subject property is in violation. Pictures illustrating the non-compliance are attached to this letter.

| CITY CODE REFERENCE  | CONDITION / REQUIRED ACTION:  |
|--|---|
| <p><b>§ 156.C.003 USE TABLE</b><br/>           Household living uses are prohibited within the GI, General Industrial Zoning District.</p> <p><i>m 2</i></p> | <p><b>Condition:</b><br/>           City staff became aware that 1408 E Main Street is your primary place of residence per reporting in the July 28<sup>th</sup>, 2025 Times Republican and which was confirmed via a phone conversation with you on July 30<sup>th</sup>, 2025.</p> <p>The subject property is zoned GI, General Industrial Zoning District. Household living uses (residence) are prohibited within the GI, General Industrial Zoning District.</p> |

**CITY COUNCIL**

Melisa Fonseca, Barry Kell, Mike Ladehoff,  
 Mark Mitchell, Greg Nichols, Jeff Schneider, Gary Thompson





# City of Marshalltown

P.O. BOX 757 / MARSHALLTOWN, IOWA 50158 / PHONE 515-754-5701

MAYOR: HOWARD STEGMANN

April 28, 1980  
(Dictated April 25th)

John Jacobs  
Building Official  
Marshalltown, Iowa 50158

Re: Lyle Hogeland Change of Use request, 1406 East Main Street.

Dear John:

I'm sure you are aware of the numerous Plan-Zoning Commission meetings which have taken place on the application of Lyle Hogeland to expand his junk or salvage business from its present 1408 East Main Street into the rear of 1406 East Main Street.

The Plan-Zoning Commission, at our April 24th meeting, directed the Clerk to ask you to make an inspection of the buildings on 1406-1408 East Main Street and report as to whether or not they comply with the code and what would have to be done to bring them up to code standards.

If you have any further questions, please feel free to contact the writer.

Respectfully submitted,

A. E. Minner  
City Clerk

AEM:hlc



# City of Marshalltown

P.O. BOX 757 / MARSHALLTOWN, IOWA 50158 / PHONE 515-754-5701

MAYOR: HOWARD STEGMANN

May 1, 1980

Charles Lander, Chairman  
Members of the Plan-Zoning Commission

Re: Buildings located at 1406 and 1408 E. Main Street

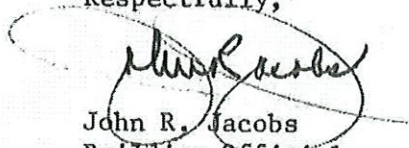
Mrs. Schrader and Gentlemen:

On April 28, 1980 I received a letter from City Clerk A. E. Minner requesting me to inspect the above buildings. On April 30th I made an on-site inspection and the report is as follows:

The type of material used in the construction of the buildings is allowable in the M-2, Fire Zone 3 District. The maintenance of the buildings might be of some question. There is one small building on the east part of the lot that appears to be beyond repair and possibly should be removed. The rest of the buildings are older buildings that have been there for a number of years and are typical of many others within the city.

I did not make a building by building inspection to determine code violations of today's building code because this office has no jurisdiction in making older existing buildings comply with today's building code.

Respectfully,

  
John R. Jacobs  
Building Official

BOARD OF ADJUSTMENT

May 19, 1981

The Marshalltown Board of Adjustment met on Tuesday, May 19, 1981, at 5:00 o'clock P.M. in the Council Chambers at City Hall.

Chairman Weaver called the meeting to order at 5:01 P.M.

ROLL CALL: Present - Jackson, Morrison, Vajgrt, Weaver.  
Absent - Niehouse.

Also present were Ed Bartine, Assistant City Attorney; Rick Cluff, Community Development Director; Lyle Hogeland; Lorenz Fett; and George Hinshaw.

Motion to approve the minutes of May 5, 1981 was made by Jackson, seconded by Weaver. Ayes - Jackson, Morrison, Vajgrt, Weaver. Nays - None. Absent - Niehouse. Motion carried.

The Clerk advised the Board members that the Times Republican, KFJB, KDAO, and KCCI had been notified of the meeting to be held at 5:00 P.M. today.

As this was the night for the public hearing on granting a Special Use Permit for Lyle Hogeland for operating a junk yard at 1406 E. Main Street, Chairman Weaver asked the Clerk whether there were any written or oral objections that had been received, with the answer being none.

Chairman Weaver then asked if there was anyone present who was to speak for Mr. Hogeland. Lorenz Fett, attorney at law, spoke before the Board of Adjustment. Mr. Fett noted that the Plan-Zoning Commission had unanimously recommended at their April 16, 1981 meeting that a Special Use Permit be granted and that previously there was a Change of Use Permit system that was invalidated by the courts. He also stated that a law suit by a neighbor, Mr. LeGrand, who owns a hog selling and buying business had been dismissed with prejudice by the court, that the litigation is now over and that his appeal has lapsed and so has the litigation with the City. This is the starting point for issuing a Special Use Permit. Mr. Fett noted that this area is zoned M-2 which is a heavy industrial district and therefore it is earmarked by the City for industrial and commercial development. This is the only district that permits commercial and industrial development and the only area where a salvage yard is permitted.

Mr. Fett relayed his opinion that Mr. Hogeland's operation is a good one, a credit to the community, and that they are not opposed to reasonable regulations, that requests had been complied with, that the fence has been installed and that the salvage operation has been separated from the commercial used car lot.

Mr. Fett explained that there has been ongoing litigation, that the salvage yard does serve a useful function and that it was filled at 1408, and therefore Mr. Hogeland bought the property at 1406 to expand and to provide proper fire lanes. He has used that property for the last year and the premises have been orderly. He is asking the Board to approve the Special Use Permit subject to the same restrictions as Planning & Zoning recommended.

At the request of Chairman Weaver, Rick Cluff read into the record the letter of June 6, 1980.

"Mayor Howard Stegmann, Members of the City Council. Re: Lyle Hogeland's application for Change of Use Permit for 1406 East Main Street. Ladies and Gentlemen: The Marshalltown Plan-Zoning Commission met Thursday, June 5, 1980, at 12:00 o'clock noon

in the Forum Room of the Tallcorn Hotel and again reviewed and discussed the application of Lyle Hogeland for a Change of Use permit under Article III, Section 6, Marshalltown Zoning Ordinance, for the area locally known as 1406 East Main Street.

Mr. Bryan Rutherford, attorney representing Mr. and Mrs. John LeGrand, Mr. Kenny Hesmer and Mr. and Mrs. Boyd Church were in attendance and expressed their concerns regarding this Change of Use request.

After considerable discussion and review of the amended application as submitted by Mr. Hogeland, dated June 2, 1980, it was the consensus of the Plan-Zoning Commission that they recommend to the City Council the approval of the Change of Use for the rear portion of the lot locally known as 1406 East Main Street with the following recommendations.

That a chain link fence be constructed across the proposed south end of the lot which would be a minimum of 16 feet north of the north line of the residence on 1406 and 1408 East Main Street. This chain link fence be connected to a chain link fence which would then run north along the west side of the property to a point approximately 200 feet north of the property line and connect to the solid fence which runs east and west across 1406 E. Main Street.

It was suggested the chain link fence be constructed for the purpose of separating the commercial uses from residential purposes and thereby make the residence at 1406-1408 E. Main Street appear as residential properties, the same as the other residential properties to the west.

It was also recommended that no cars from the commercial operations be parked south or in front of this chain link fence.

With the above recommendation to separate the commercial functions from the residence on the front of the property and to maintain residential appearance from the street, it was the recommendation of the Plan-Zoning Commission that the City Council, with these stipulations, proceed to issue the Change of Use permit for Mr. Hogeland. Respectfully submitted, /s/ A. E. Minner, City Clerk."

Mr. Fett noted that the chain link fence was erected as requested.

Chairman Weaver asked had the residential appearance been maintained as was requested, with Rick Cluff stating that the objective of that recommendation was to set back the commercial use.

Mrs. Jackson noted that the cars are already on the property, though Planning & Zoning had already given permission, isn't that up to the Board of Adjustment, and what is the purpose of their meeting if the cars are already on location?

Mr. Fett explained that originally he was before the Plan-Zoning Commission who gave a Change of Use permit but that it wasn't valid. After litigation the City said that a Special Use permit would be required. The Change of Use was under the old "Rosemary Ordinance" that was ruled invalid and now is being repealed by the Council.

Mr. Fett noted that the junk yard was initiated without the Board of Adjustment approval.

Mrs. Jackson explained that that is what bothered her.

Mr. Fett explained that Lyle Hogeland had expended a considerable amount of money in improving the area, with Mrs. Jackson stating that if Mr. Hogeland could expand his operation without approval couldn't anyone else do that.

Mr. Fett explained that the matter was in litigation and it was only after the Plan-Zoning Commission gave approval that it was installed.

Chairman Weaver noted the Plan-Zoning Commission only is able to give a recommendation and that no change of use or special use permit was ever granted.

Mr. Hinshaw stated that after considerable discussion with the City Attorney and the Assistant City Attorney, even though they did not think it was necessary to go before the Board of Adjustment, they had decided to go before the Board of Adjustment at the Assistant and the City Attorney's recommendation and that after "Rosemary's Ordinance" was ruled invalid all that would be required was a junk yard permit.

Mrs. Jackson noted that the first property had been approved, not the second property.

Mr. Hinshaw explained that after "Rosemary's Ordinance" was ruled invalid only the junk yard ordinance was in effect for that area.

Chairman Weaver asked Mr. Bartine if that was true and he answered that that was true, but with Council approval. Chairman Weaver asked was it true that the Court ruling gave the authority to the Board of Adjustment, with Mr. Hinshaw stating that it only ruled that the Council was not able to decide.

Mrs. Jackson asked, "What is 'Rosemary's Ordinance'?" Chairman Weaver explained that it was initiated by Rosemary Johnson as a result of the building of the Fox Lounge, that she wanted to prohibit a commercial enterprise from building 300 feet from a residence regardless of the zoning. The ordinance then became applicable to all areas and required a Change of Use Permit if an area was established within 300 feet.

Chairman Weaver asked, "Then is the M-2 Zoning Ordinance the governing ordinance?" Mr. Bartine explained that that was true but that it required that matter to go to the City Council.

Mr. Fett noted that there is no ordinance at this moment as a substitute ordinance has not been passed by the Council.

Chairman Weaver noted that you are here today to ask for approval for something that you have already initiated. This puts the Board of Adjustment in a very difficult position. If we don't act it still will be located there.

Chairman Weaver asked Mr. Bartine if the ruling by the State Supreme Court that gives this type of power to the Board of Adjustment, is this what we are operating under, and Mr. Bartine replied in the affirmative. Chairman Weaver noted that if that's the case then they are here to be in compliance with the law rather than as a formality.

Chairman Weaver asked, "Do we have the power to decide or not, and when will the ordinance be changed?"

Mr. Bartine noted that he believed the third reading was before the Council at the next meeting and that you may or may not have the authority.

At this point Chairman Weaver directed Rick Cluff to read the communication from April 20, 1981 from the Plan-Zoning Commission to the Board of Adjustment into the record.

"Board of Adjustment, City Hall, Marshalltown, Ia. 50158, Ladies & Gentlemen: The Marshalltown Planning & Zoning Commission met on April 16, 1981 to review the Special Use Permit request of Lyle Hogeland. Mr. Hogeland's request is for a junkyard at 1406 E. Main Street.

This request had been before the Planning & Zoning Commission previously in order to comply with Ordinance #13081. At the time the Planning & Zoning recommended approval with condition. In this previous review and in accordance with the provision of the ordinance, the approval was within the jurisdiction of the City Council. As a result of a denial by the City Council, the matter resulted in a suit filed by Mr. Hogeland against the City of Marshalltown.

The Court ruled in this instance that Ordinance #13081 was invalid and that the proper jurisdiction for approval was the Board of Adjustment.

After considerable discussion, the Planning & Zoning Commission recommends approval of the Special Use Permit to Mr. Hogeland for the junkyard with the following considerations:

- 1) That the Planning & Zoning Commission's recommendation of June 6, 1980 (see attached) be incorporated into the Permit.
- 2) That the Board of Adjustment consider a time limit for the Special Use Permit. Planning & Zoning stated no specific time limit but felt that it would be in the best interest of the community to review the Permit at a later date.

Sincerely yours, /s/ Rick Cluff, Director, Community Development."

Chairman Weaver noted that he believed that the third paragraph which states: "The Court ruled in this instance that Ordinance #13081 was invalid and that the proper jurisdiction for approval was the Board of Adjustment" is correct. Mr. Fett noted that he did not feel his client was deliberately flaunting the law but that the City in the law suit which they brought against Mr. Hogeland never mentioned that a Special Use Permit would be required, only a Change of Use.

Chairman Weaver asked, "Did Mr. Hogeland convert the property before or after the Court ruling?", with Mr. Hinshaw replying that he had done that before the Court ruling.

Mr. Fett noted the purpose of zoning is to promote an orderly growth and that since this area is zoned M-2 this should be permitted.

Mrs. Jackson asked whether with the new underpass will this be a major artery into the City of Marshalltown.

George Hinshaw noted yes, but there have been major improvements in aesthetics in recent period.

Mrs. Jackson noted that if they say yes to this Special Use Permit request then they will have to say yes to other Special Use Permits on projects that have already been constructed.

Mr. Fett noted that before Lyle Hogeland had bought the property the property was used as a junk yard, maybe even before it was zoned M-2 and that this was a pre-existing use.

Mrs. Jackson asked, "Even on the newly acquired property?"

Mr. Hinshaw explained that it was their feeling that yes, even on the new property, and he felt that they could win the case if it had to go to court.

Rick Cluff noted that the cleaning up that has recently been done might have been as a result of the litigation that has taken place.

At this point Chairman Weaver asked for public comments.

Boyd Church of 1402½ E. Main Street appeared before the Board and noted that he had lived in that neighborhood since he has been fourteen years old and the neighborhood has gone down. That they have been good neighbors with Mr. Hogeland, they have put up with a mess for a number of years and that a lady on the Plan-Zoning Commission has suggested keeping the cars back off of the street so that it could look like a residential area and that now an additional five acres of mess had been allowed, and that he did not care if the cars were located out back but he does care what is located out front. He would like to have the cars limited to the back line of his house. He noted that if the area was cleaned up it would be good for business. He noted that the property at 1406 E. Main Street had never had 50 cars.

Mr. Fett asked Mr. Church whether the property looked better than it had been two years ago and the answer was yes, but it could still look better. Mr. Fett noted that Lyle Hogeland does have a junk yard permit for the property at 1408 E. Main Street. Mr. Fett also noted that junk cars were not allowed in front and that a used car lot which is in the front of the property is permissible with commercial use. He said the junked cars are all out behind the fence.

Mr. Hinshaw noted there are no restrictions on a used car lot.

Mrs. Jackson noted that there should be a serious attempt to try to accommodate the neighbors.

Mr. Hogeland stated that visibility is important in trying to sell automobiles.

Mr. Fett noted they would not agree to move the cars back, that the Board of Adjustment has no authority over a used car lot.

Chairman Weaver noted only that the Plan-Zoning did ask that a residential appearance be maintained.

Rick Cluff mentioned that the Plan-Zoning Commission was not talking about where the used cars were sold when they had stated that.

Mr. Morrison noted that even if the Board of Adjustment required him to move his cars back what would stop him from moving them back up within a couple of weeks.

Mr. Church asked that the Board of Adjustment grant him a permit for only six months at a time, therefore it could be periodically checked.

Mr. Hinshaw noted that he did not feel the cars did stick out that far.

Chairman Weaver noted the recommendation from the Plan-Zoning Commission included a time limit and that if the time limit was imposed it would give neighbors a chance to work out any disagreements they might have and if they can't be worked out then they could come before the Board of Adjustment when the permit does expire.

Chairman Weaver also noted that there appeared to be no jurisdiction over the front 250 feet of the property and that no one can make him move his cars back.

Mr. Morrison noted that the set back law does not exist in an area that is zoned M-2.

Chairman Weaver noted that all five members of the Board of Adjustment are not present and since it takes three members to pass a Special Use Permit he offered Mr. Hogeland the opportunity to have a continuance on his hearing for when all five members would be present.

Mr. Fett noted that they will not ask for a continuance for the same reason they hope that the Special Use Permit would be granted for a period longer than six months, that they did not wish to have to be constantly in litigation over this matter.

Chairman Weaver asked what was the feeling of the Plan-Zoning Commission, how long of a time limit were they talking about and Mr. Hinshaw replied that a majority of Commission members wanted a period of approximately five to seven years but that Mr. Hildebrandt had wanted the smallest amount of time possible, possibly six months.

Rick Cluff reported that the Plan-Zoning Commission was talking about a period from six months to five years. Mr. Cluff also noted that since Main Street will be torn up for approximately six months he suggested that a time period of eighteen months be allowed so that the property could be reviewed after the street work is completed.

Mr. Morrison noted that the Special Use Permit could be granted for a year and a half at this time and then the next time one could be granted for five years. This has been done in the past.

Chairman Weaver agreed to an eighteen month time period and then to review it and possibly grant it for a longer period of time at that point or denied. Chairman Weaver asked if the motion said not closer than 250 feet south from the Main Street line would that be in agreement with the Plan-Zoning Commission recommendation, with Mr. Bartine saying yes.

Mr. Hinshaw noted that the Board of Adjustment has no jurisdiction over that 250 feet as long as there are no junkers on the property.

Chairman Weaver noted that if they denied the permit the car lot would be all right out front but that the junkers would not be allowed out back, with Mr. Bartine stating yes.

A motion was made by Chairman Weaver to grant a Special Use Permit for a junk yard for Lyle Hogeland at 1406 E. Main Street for a period of 18 months in accordance with the recommendation of the Plan-Zoning Commission of April 20, 1981 and June 6, 1980, and that the junk yard not extend any further south than 250 feet from Main Street. This was seconded by Mr. Morrison. ROLL CALL: Ayes - Morrison, Vajgrt, Weaver. Nays - Jackson. Motion carried. The Special Use Permit was granted for a period of 18 months.

As there was no further business before the Board of Adjustment, motion was made by Mrs. Jackson to adjourn the meeting, seconded by Chairman Weaver. All aye. Motion carried. Meeting adjourned at 6:08 P.M.

Respectfully submitted,

William Schneider  
City Clerk

Copies to: All Board members  
✓ Rick Cluff  
Ed Bartine  
Lyle Hogeland  
Boyd Church  
Lorenz Fett

IN THE IOWA DISTRICT COURT FOR MARSHALL COUNTY

CITY OF MARSHALLTOWN, IOWA, )  
 )  
 Plaintiff )  
 )  
 vs. ) Equity No. 34518  
 )  
 LYLE HOGELAND, d/b/a )  
 HOGELAND BODY SHOP AND )  
 SALVAGE YARD, )  
 )  
 Defendant )

NOTICE OF APPEAL

TO: Marshalltown City Clerk and Rick Cluff, Community  
Development Director

YOU AND EACH OF YOU ARE HEREBY NOTIFIED that Applicant,  
Lyle Hogeland, hereby appeals to the Board of Adjustment  
the denial of his application for a special use permit for  
junkyard on the lot located at 1406 East Main Street,  
Marshalltown, Iowa, legally described as:

The East 7 acres of the West 22 acres of  
the Southeast 1/4 of the Southeast 1/4 of  
Section 25, Township 84 North, Range 18  
West of the 5th P.M., Marshall County, Iowa,  
except beginning 495 feet East of the  
Northwest corner, thence East 231 feet,  
thence South 350 feet, thence West 85 feet,  
thence Southeast 170.9 feet, thence North  
438.8 feet to the point of beginning, and  
except the South 50 feet of the East 7  
acres of the West 22 acres of said section.

The grounds for this appeal are as follows; however,  
the following statement is intended to be illustrative only  
and not exhaustive of the reasons why a special use permit  
should be granted: the adjoining area at 1408 East Main

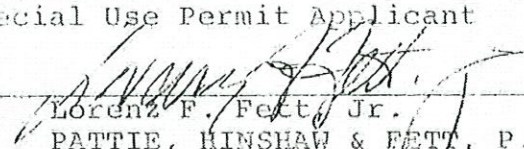
fence as this one is; it emits no offensive odors and rarely any noise; expansion of this business in the H-2 heavy industrial district is in accordance with the comprehensive plan for the City of Marshalltown and will do its part to enhance the local economy.

Attached hereto is the written denial from Rick Cluff, Community Development Director.

Respectfully submitted,

LYLE HOGELAND,  
Special Use Permit Applicant

BY



Lorenz F. Fett, Jr.  
PATTIE, HINSHAW & FETT, P. C.  
103 West State Street  
Marshalltown, Iowa 50158  
Phone: (515) 753-6659

Attorneys for Lyle Hogeland.

City Of Marshalltown

April 7, 1981

Dear Sir:

Your application for a special use permit for a \_\_\_\_\_  
\_\_\_\_\_junkyard\_\_\_\_\_ on your lot located at 1406 E. Main St.,  
Marshalltown, Iowa has been denied by this office because it does not comply  
with the following sections of the Zoning Ordinance of 1957.

Article XIV Section 2 Paragraph \_\_\_\_\_  
Sub-paragraph \_\_\_\_\_ Legal Discription \_\_\_\_\_  
\_\_\_\_\_

If you wish to appeal this rejection to the Board Of Adjustment, your next  
step is to file with the City Clerk this letter of rejection, your letter  
setting forth your reason for the appeal, the plot plan rejected, and the  
required fifteen (\$15) dollar fee.

Sincerely,

\_\_\_\_\_  
Rick Gluff  
Community Development Director

IN THE IOWA DISTRICT COURT FOR MARSHALL COUNTY

CITY OF MARSHALLTOWN, IOWA, )  
 )  
 Plaintiff, )  
 )  
 VS. )  
 )  
 LYLE HOGELAND, d/b/a )  
 HOGELAND BODY SHOP AND )  
 SALVAGE YARD, )  
 )  
 Defendant. )

Equity No. \_\_\_\_\_

*Carl Me.*  
*Pat*

PETITION FOR TEMPORARY AND PERMANENT INJUNCTION

COMES NOW the Petitioner and states to the Court as follows:

1. That Plaintiff, City of Marshalltown, Iowa, is a corporate entity, duly organized in the State of Iowa and operating in Marshall County.

2. That Defendant resides in Marshall County, Iowa.

3. Defendant owns and operates an automobile junk yard at 1408 East Main Street, within the boundaries of the City of Marshalltown and located in an M-2 Heavy Industrialized District and the subject to the requirements of City of Marshalltown Ordinance 13081, an Ordinance amending the zoning ordinance of 1957 as subsequently amended.

4. Defendant owns the adjoining property at 1406 East Main Street, within the boundaries of the City of Marshalltown and legally described as follows:

The East 7 acres of the West 22 acres of the Southeast Quarter of the Southeast Quarter of Section 25, Township 84 North, Range 18 West of the 5th P.M., Marshall County, Iowa, except beginning 495 feet East of the Northwest corner, thence East 231 feet, South 350 feet, West 85 feet, Southwest 170.9 feet, North 438.8 feet, to the point of beginning, and except the South 50 feet of the East 7 acres of the West 22 acres.

5. Defendant has applied for and has been denied a "change of use" for the property at 1406 East Main Street in order to expand his auto salvage business.

and well-being of the residences located within 300 feet of said lot and constitutes a nuisance and is in violation of City of Marshalltown, Ordinance 13081.

8. The acts taken by the Defendant have injured and will continue to work irreparable injury to the neighboring residences unless the Defendant is restrained from continuing the operation of the junk yard upon the premises at 1406 East Main.

WHEREFORE, Petitioner prays for a temporary and permanent injunction restraining the Defendant from maintaining a junk yard at 1406 East Main Street, for an immediate hearing on the temporary injunction and a hearing set at a later date on the permanent injunction, for such other relief as may be equitable, and that he may have judgment against Defendant for the costs.

CITY OF MARSHALLTOWN, IOWA

By:

Pat W. Brooks, Assistant City Solicitor  
25 North Center Street  
Marshalltown, Iowa 50158

VARIANCE PERMIT

Pursuant to Article XIX of the Marshalltown Zoning Ordinance, a Variance Permit is hereby granted as follows:

1. Name of Applicant: Lyle and Lonnie Hogeland

2. Property Description:

Street Address: 1406 East Main Street

Legal Description: E 7 Acres of W 22 Acres, SE 1/4 SE 1/4

Except beginning 495' E of N.W. corner, then E 231'

S 350' W 85' SW 174.9' N 438' to beginning and except

S 50' of E 7 Acres of W 22 Acres Sec. 85, Twp 84, Range 18

3. Nature of Variance allowed: \_\_\_\_\_

Placement of new Single-Family home in M-2 district.

4. Protective restrictions: Current house on 1406 East Main

Street to be removed and replaced with manufactured home

at least 20' wide or typical Single-Family home on frost

proof foundation and appropriate roof and siding/exterior

wall covering.

Those to whom this Variance Permit is granted shall comply with all ordinances and statutes, whether federal, state, or local which shall include but not be limited to those relative to fire protection, electrical installation, signs on the premises, and sanitation.

Furthermore, those to whom this Variance Permit is issued shall not extend or further alter the property described above beyond the plans filed with the Board of Adjustment unless additional permission from the Board of Adjustment is obtained.

*Pattie, Hinshaw & Fett, P. C.*

*Attorneys at Law*

*103 West State Street*

*P.O. Box 556*

*Marshalltown, Iowa 50158*

*515-753-6659 and 515-753-6650*

*August 18, 1982*

*George W. Hinshaw*

*Lorenz F. Fett, Jr.*

*J. W. Pattie — Of Counsel*

*E. E. Bachman (1898-1955)*

*State Center Office  
Old Bank Building*

*515-483-2768*

Mr. Rick Cluff  
City Hall  
24 North Center Street  
Marshalltown, IA 50158

Dear Rick:

Would you be so kind as to advise when the Plan-Zoning Commission and the Board of Adjustment will be considering Lyle Hogeland's special use permit renewal.

Thank you very much.

Very truly yours,

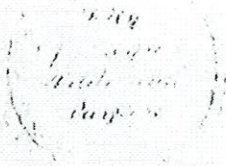
PATTIE, HINSHAW & FETT, P. C.

By

  
LORENZ F. FETT, JR.

LFF:ls

cc: Mr. Lyle Hogeland



# City of Marshalltown

P.O. BOX 757 / MARSHALLTOWN, IOWA 50158 / PHONE 515-754-5701

MAYOR: HOWARD STEGMANN

August 20, 1982

Mr. Lorenz Fett, Jr.  
Pattie Hinshaw & Fett P.C.  
103 West State Street  
Marshalltown, Iowa 50158

Dear Mr. Fett:

I would suggest you begin the process of renewing Mr. Hogeland's special use permit for a junk yard at your earliest convenience.

Please submit a letter requesting a hearing regarding this project, including the legal description and a \$15.00 filing fee. Upon receipt we will schedule your hearing with the Board of Adjustment following the required 15 day notice.


If you have any questions, please do not hesitate to contact me.

Sincerely,

Rick Cluff, Director  
Community Development Department

RC:hc

City Of Marshalltown

, 19 Leavitt

Dear Sir: Cytc Hogeland  
1408 E Main St.  
Marshalltown Ia 50558  
752-0027

*Continuation of your*  
Your application for a special use permit for a Junk yard  
on your lot located at 1408 E Main,

Marshalltown, Iowa has ~~been~~ <sup>*MUST be renewed prior to Oct*</sup> denied by this office because it does not comply with the following sections of the Zoning Ordinance of 1957.

Article \_\_\_\_\_ Section \_\_\_\_\_ Paragraph \_\_\_\_\_  
Sub-paragraph \_\_\_\_\_ Legal Discription See below

If you wish to appeal this rejection to the Board Of Adjustment, your next step is to file with the City Clerk this letter of rejection, your letter setting forth your reason for the appeal, the plot plan rejected, and the required fifteen (\$15) dollar fee.

Sincerely,

\_\_\_\_\_  
Rick Gluff  
Community Development Director

TO: THE MARSHALLTOWN, IOWA CITY COUNCIL  
THE MARSHALLTOWN PLAN AND ZONING COMMISSION

LADIES AND GENTLEMEN:

This office has received application for a  
(1) A new use being AUTO SALVAGE & USED CAR LOT  
(2) A change of use from \_\_\_\_\_  
to \_\_\_\_\_  
said application having been submitted by Lyle Hogeland  
for a site located at 1406 E. MAIN ST., Marshalltown, Iowa, presently zoned as  
M 2.

That pursuant to Section 6 of Article VI it is required that the proposal be reviewed by the Plan and Zoning Commission and approved by the City Council.

Dated at Marshalltown, Iowa this \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_\_.

Respectfully submitted,

\_\_\_\_\_  
JOHN JACOBS  
Building Official

PLAN AND ZONING COMMISSION ACTION

The above and foregoing application came on before the Plan and Zoning Commission at a regular (special) meeting held on the \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_\_. The commission, being legally constituted and after hearing all the arguments, having thoroughly explored the situation and being fully advised makes the following recommendations to the City Council.

That the application be (denied) (approved) for the following reasons:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CITY COUNCIL ACTION

The above and foregoing application came on before the City  
Page 179 of 261

TO: THE MARSHALLTOWN, IOWA CITY COUNCIL  
THE MARSHALLTOWN PLAN AND ZONING COMMISSION

LADIES AND GENTLEMEN:

This office has received application for a

- (1) A new use being Auto Salvage & Used CAR Lot
- (2) A change of use from \_\_\_\_\_  
to \_\_\_\_\_

said application having been submitted by Lyle Hogeland for a site located at 1408 E. MAIN ST, Marshalltown, Iowa, presently zoned as M 2.

That pursuant to Section 6 of Article VI it is required that the proposal be reviewed by the Plan and Zoning Commission and approved by the City Council.

Dated at Marshalltown, Iowa this \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_\_.

Respectfully submitted,

\_\_\_\_\_  
JOHN JACOBS  
Building Official

PLAN AND ZONING COMMISSION ACTION

The above and foregoing application came on before the Plan and Zoning Commission at a regular (special) meeting held on the \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_\_. The commission, being legally constituted and after hearing all the arguments, having thoroughly explored the situation and being fully advised makes the following recommendations to the City Council.

That the application be (denied) (approved) for the following reasons:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CITY COUNCIL ACTION

The above and foregoing application came on before the City Council of Marshalltown, Iowa, on \_\_\_\_\_

*Pattie, Hinshaw & Fett, P. C.*

*Attorneys at Law*

*103 West State Street  
Marshalltown, Iowa 50158  
515-753-6659 and 515-753-6650*

*George W. Hinshaw  
Lorenz F. Fett, Jr.*

April 13, 1981

*Auto Center Office  
Old Bank Building  
515-483-2768*

*J. W. Pattie - Of Counsel  
E. C. Bachman (1893-1955)*

Mr. Rick Cluff  
Community Development Director  
P.O. Box 757  
Marshalltown, Iowa 50158

IN RE:                   Application for Special Use Permit  
                              for Auto Salvage Yard, Lyle Hogeland,  
                              1406 East Main Street  
                              Marshalltown, Iowa 50158

Dear Mr. Cluff:

Enclosed herewith please find the April 1980 plat drawing for the subject property. You should note that the "woven and barbed wire fences" on the northern ends of the property are now sheet metal screening fences, approximately 7 feet high.

Very truly yours,

PATTIE, HINSHAW & FETT, P. C.

by

  
LORENZ F. FETT, JR.

LFF:brk  
Enclosure  
cc: Marshalltown City Clerk

*Pattie, Hinshaw & Fett, P. C.*

*Attorneys at Law*

*103 West State Street  
Marshalltown, Iowa 50158  
515-753-6659 and 515-753-6650*

*George W. Hinshaw  
Lorenz F. Fett, Jr.*

April 6, 1981

*State Center Office  
Old Bank Building  
515-483-2768*

*J. W. Pattie — Of Counsel  
E. E. Bachman (1898-1955)*

Mr. William Schneider  
Marshalltown City Clerk  
P.O. Box 757  
Marshalltown, Iowa 50158

Dear Sir:

Kindly send us an application for special use permit for the operation of a junk yard in an M-2 heavy industrialized district, on behalf of Lyle Hogeland, 1406 East Main Street, Marshalltown, Iowa.

Very truly yours,

PATTIE, HINSHAW & FETT, P. C.

by

  
LORENZ F FETT, JR.

LFF:brk  
cc: Mr. Pat Brooks



# City of Marshalltown

P.O. BOX 757 / MARSHALLTOWN, IOWA 50158 / PHONE 515-754-5701

MAYOR: HOWARD STEGMANN

June 6, 1980

Mayor Howard Stegmann  
Members of the City Council

Re: Lyle Hogeland's application for Change of Use Permit for 1406 East Main Street.

Ladies and Gentlemen:

The Marshalltown Plan-Zoning Commission met Thursday, June 5, 1980, at 12:00 o'clock noon in the Forum Room of the Tallcorn Hotel and again reviewed and discussed the application of Lyle Hogeland for a Change of Use permit under Article III, Section 6, Marshalltown Zoning Ordinance, for the area locally known as 1406 East Main Street.

Mr. Bryan Rutherford, attorney representing Mr. and Mrs. John LeGrand; Mr. Kenny Hesmer and Mr. and Mrs. Boyd Church were in attendance and expressed their concerns regarding this Change of Use request.

After considerable discussion and review of the amended application as submitted by Mr. Hogeland, dated June 2, 1980, it was the consensus of the Plan-Zoning Commission that they recommend to the City Council the approval of the Change of Use for the rear portion of the lot locally known as 1406 East Main Street with the following recommendations.

That a chain link fence be constructed across the proposed south end of the lot which would be a minimum of 16 feet north of the north line of the residence on 1406 and 1408 East Main Street. This chain link fence be connected to a chain link fence which would then run north along the west side of the property to a point approximately 200 feet north of the property line and connect to the solid fence which runs east and west across 1406 E. Main Street.

It was suggested the chain link fence be constructed for the purpose of separating the commercial uses from residential purposes and thereby make the residence at 1406-1408 E. Main Street appear as residential properties, the same as the other residential properties to the west.

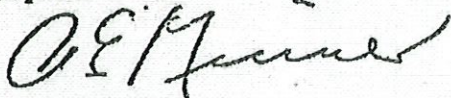
It was also recommended that no cars from the commercial operations be parked south or in front of this chain link fence.

COUNCIL: STANLEY CORDES / A.J. REAM / JAMES DENINGER / SHARON MAYER / DONALD E. SMITH  
JEAN COOPER / GERALD McKIMMEY / RICHARD HAMBLIN / CHARLES WEIDNER

Mayor Howard Stegmann  
Members of the City Council  
June 6, 1980  
Page Two

With the above recommendation to separate the commercial functions from the residence on the front of the property and to maintain residential appearance from the street, it was the recommendation of the Plan-Zoning Commission that the City Council, with these stipulations, proceed to issue the Change of Use permit for Mr. Hogeland.

Respectfully submitted,



A. E. Minner  
City Clerk

AEM:hlc

SPECIAL USE PERMIT

Board of Adjustment  
c/o Municipal Building  
Marshalltown, Iowa 50158

Pursuant to the Marshalltown Zoning Ordinance, Article XVI, a Special Use Permit is hereby granted as follows:

1. To the following people: Lyle Hogeland

2. Concerning the following described property (both legal description and local address): The East 7 acres of the West 22 acres of the Southeast ¼ of the Southeast ¼ of Section 25, Township 84 North, Range 18 West of the 5th P.M. Marshall County, Iowa, except beginning 495 feet East of the Northwest corner, thence East 231 feet, thence South 350 feet, thence West 85 feet, thence Southeast 170.9 feet thence North 438.8 feet to the point of beginning, and except the South 50 feet of the East 7 acres of the West 22 acres of said section. 1406 E. Main Street

3. Nature of Special Use allowed: Junkyard

4. Protective restrictions: Issued for a period of 18 months and is issued subject to compliance with the April 20, 1981 and June 6, 1980 recommendations of the Planning Commission, with the further restriction that the junkyard shall not extend further south than 250 feet north of the center of East Main Street.

Those to whom this Special Use Permit is granted shall comply with all ordinances and statutes, either federal or state, which shall include but not be limited to those relative to fire protection, electrical installation, signs on the premises, and sanitation.

This Special Use Permit does not run with the land, and therefore, purchasers, lessees, or others using the above-described property shall not have any rights or powers under this Special Use Permit without further action of the Board of Adjustment.

Furthermore, those to whom this Special Use Permit is issued shall not extend or further alter the use of the property described above beyond the plans filed with the Board of Adjustment is obtained.

Signed on June 2, 1981.

BOARD OF ADJUSTMENT

May 19, 1981

5:00 P.M.

A. CALL TO ORDER

B. ROLL CALL: Beverly Jackson, Robert Morrison, Kenneth Niehouse,  
Dennis Vajgrt, Michael A. Weaver

C. Times Republican, K.F.J.B., KDAO and KCCI have been notified of  
the meeting of May 19, 1981

D. Approval of the May 5, 1981 minutes

E. Order of Business:

1. Public Hearing for Lyle Hogeland,  
1406 East Main Street, for a  
Special Use Permit for a junkyard

*Pattie, Hinshaw & Fett, P. C.*

*Attorneys at Law*

*103 West State Street  
Marshalltown, Iowa 50158  
515-753-6659 and 515-753-6650*

*George W. Hinshaw  
Lorenz F. Fett, Jr.*

*J. W. Pattie — Of Counsel  
E. E. Bachman (1898-1955)*

April 10, 1981

*State Center Office  
Old Bank Building  
515-483-2768*

Mr. A. E. Minner  
Marshalltown City Clerk  
P.O. Box 757  
Marshalltown, Iowa 50158

IN RE:                    Application for Special Use Permit  
Our Client/Applicant - Lyle Hogeland

Dear Mr. Minner:

Enclosed please find our Notice of Appeal and the letter rejecting our application for a special use permit as well as our \$15.00 fee. Kindly refer this as stated in Rick Cluff's letter of April 2, 1981, (copy enclosed) to the Planning and Zoning Commission at your early opportunity and advise me if you would of the date that it will be heard before said Commission.

Thank you very much.

Very truly yours,

PATTIE, HINSHAW & FETT, P. C.

by

LORENZ F. FETT, JR.

LFF:brk  
Enclosures  
cc: Mr. Rick Cluff



# City of Marshalltown

P.O. BOX 757 / MARSHALLTOWN, IOWA 50158 / PHONE 515-754-5701

MAYOR: HOWARD STEGMANN

April 20, 1981

Board of Adjustment  
City Hall  
Marshalltown Ia. 50158

Ladies & Gentlemen:

The Marshalltown Planning & Zoning Commission met on April 16, 1981 to review the Special Use Permit request of Lyle Hogeland. Mr. Hogeland's request is for a junkyard at 1406 East Main St.

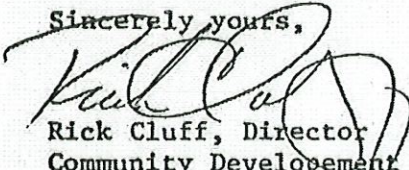
This request had been before the Planning & Zoning Commission previously in order to comply with Ordinance #13081. At the time the Planning & Zoning recommended approval with condition. In this previous review and in accordance with the provision of the ordinance, the approval was within the jurisdiction of the City Council. As a result of a denial by the City Council, the matter resulted in a suit filed by Mr. Hogeland against the City of Marshalltown.

The Court ruled in this instance that Ordinance #13081 was invalid and that the proper jurisdiction for approval was the Board of Adjustment.

After considerable discussion, the Planning & Zoning Commission recommends approval of the Special Use Permit to Mr. Hogeland for the junkyard with the following considerations:

- 1) That the Planning & Zoning Commission's recommendation of June 6, 1980 (see attached) be incorporated into the Permit.
- 2) That the Board of Adjustment consider a time limit for the Special Use Permit. Planning & Zoning stated no specific time limit but felt that it would be in the best interest of the community to review the Permit at a later date.

Sincerely yours,

  
Rick Cluff, Director  
Community Development

FWC:ljp  
Encl:

BOARD OF ADJUSTMENT

May 19, 1981

5:00 P.M.

- A. CALL TO ORDER
- B. ROLL CALL: Beverly Jackson, Robert Morrison, Kenneth Niehouse,  
Dennis Vajgrt, Michael A. Weaver
- C. Times Republican, K.F.J.B., KDAO and KCCI have been notified of  
the meeting of May 19, 1981
- D. Approval of the May 5, 1981 minutes
- E. Order of Business:
  - 1. Public Hearing for Lyle Hogeland,  
1406 East Main Street, for a  
Special Use Permit for a junkyard

SPECIAL USE PERMIT

Board of Adjustment  
c/o Municipal Building  
Marshalltown, Iowa 50158

Pursuant to the Marshalltown Zoning Ordinance, Article XVI, a Special Use Permit is hereby granted as follows:

1. To the following people: Lyle Hogeland

2. Concerning the following described property (both legal description and local address): The East 7 acres of the West 22 acres of the Southeast ¼ of the Southeast ¼ of Section 25, Township 84 North, Range 18 West of the 5th P.M. Marshall County, Iowa, except beginning 495 feet East of the Northwest corner, then East 231 feet, thence South 350 feet, thence West 85 feet, thence Southeast 170.9 feet, thence North 438.8 feet to the point of beginning, and except the South 50 feet of East 7 acres of the West 22 acres of said section. 1406 E. Main Street

3. Nature of Special Use allowed: Junkyard

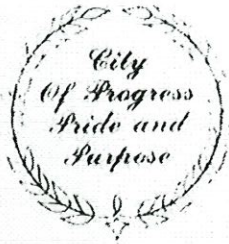
4. Protective restrictions: Issued for a period of 18 months and is issued subject to compliance with the April 20, 1981 and June 6, 1980 recommendations of the Planning Commission, with the further restriction that the junkyard shall not extend further south than 250 feet north of the center of East Main Street.

Those to whom this Special Use Permit is granted shall comply with all ordinances and statutes, either federal or state, which shall include but not be limited to those relative to fire protection, electrical installation, signs on the premises, and sanitation.

This Special Use Permit does not run with the land, and therefore, purchasers, lessees, or others using the above-described property shall not have any rights or powers under this Special Use Permit without further action of the Board of Adjustment.

Furthermore, those to whom this Special Use Permit is issued shall not extend or further alter the use of the property described above beyond the plans filed with the Board of Adjustment is obtained.

Signed on June 2, 1981.



# City of Marshalltown

P.O. BOX 757 / MARSHALLTOWN, IOWA 50158 / PHONE 515-754-5701

MAYOR: HOWARD STEGMANN

April 20, 1981

Mayor and City Council  
City Hall  
Marshalltown, Iowa 50158

Ladies and Gentlemen:

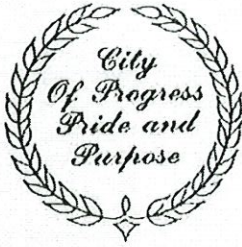
The Marshalltown Planning & Zoning Commission met on April 16, 1981 and were briefed on the decision rendered by the District Court in suit filed by Mr. Lyle Hogeland against the City of Marshalltown. The suit revolved around the validity of Ordinance #13081 or commonly known as the "Rosemary Ordinance". Essentially, the ordinance deals with the Council providing approval or denial for certain new or change of uses in commercial and industrial zones where there is a residence or residential zone within 300 feet.

In the instance of the suit filed by Mr. Hogeland, the Court ruled that it is not within the jurisdiction of the City Council but rather the Board of Adjustment to make their determination. I would urge the Council to address Mr. Lovig of the ramification of this decision.

The Planning & Zoning Commission would recommend to the Council the repeal of Ordinance #13081. The Commission wants to review the various instances when the ordinance was in effect to determine its effectiveness and to recommend to the Council any changes necessary to the zoning ordinance that would provide similar yet equitable protection.

Sincerely yours,

Rick Cluff, Director  
Community Development Department



# City of Marshalltown

P.O. BOX 757 / MARSHALLTOWN, IOWA 50158 / PHONE 515-754-5701

MAYOR: HOWARD STEGMANN

June 6, 1980

Mayor Howard Stegmann  
Members of the City Council

Re: Lyle Hogeland's application for Change of Use Permit for 1406 East Main Street.

Ladies and Gentlemen:

The Marshalltown Plan-Zoning Commission met Thursday, June 5, 1980, at 12:00 o'clock noon in the Forum Room of the Tallcorn Hotel and again reviewed and discussed the application of Lyle Hogeland for a Change of Use permit under Article III, Section 6, Marshalltown Zoning Ordinance, for the area locally known as 1406 East Main Street.

Mr. Bryan Rutherford, attorney representing Mr. and Mrs. John LeGrand; Mr. Kenny Hesmer and Mr. and Mrs. Boyd Church were in attendance and expressed their concerns regarding this Change of Use request.

After considerable discussion and review of the amended application as submitted by Mr. Hogeland, dated June 2, 1980, it was the consensus of the Plan-Zoning Commission that they recommend to the City Council the approval of the Change of Use for the rear portion of the lot locally known as 1406 East Main Street with the following recommendations.

That a chain link fence be constructed across the proposed south end of the lot which would be a minimum of 16 feet north of the north line of the residence on 1406 and 1408 East Main Street. This chain link fence be connected to a chain link fence which would then run north along the west side of the property to a point approximately 200 feet north of the property line and connect to the solid fence which runs east and west across 1406 E. Main Street.

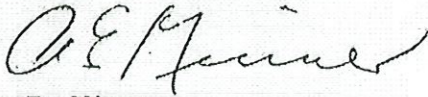
It was suggested the chain link fence be constructed for the purpose of separating the commercial uses from residential purposes and thereby make the residence at 1406-1408 E. Main Street appear as residential properties, the same as the other residential properties to the west.

It was also recommended that no cars from the commercial operations be parked south or in front of this chain link fence.

Mayor Howard Stegmann  
Members of the City Council  
June 6, 1980  
Page Two

With the above recommendation to separate the commercial functions from the residence on the front of the property and to maintain residential appearance from the street, it was the recommendation of the Plan-Zoning Commission that the City Council, with these stipulations, proceed to issue the Change of Use permit for Mr. Hogeland.

Respectfully submitted,



A. E. Minner  
City Clerk

AEM:hlc

SPECIAL USE PERMIT

Board of Adjustment  
c/o Municipal Building  
Marshalltown, Iowa 50158

Pursuant to the Marshalltown Zoning Ordinance, Article XVI, a Special Use Permit is hereby granted as follows:

1. To the following people: Lyle Hogeland

2. Concerning the following described property (both legal description and local address): The East 7 acres of the West 22 acres of the Southeast 1/4 of the Southeast 1/4 of Section 25, Township 84 North, Range 18 West of the 5th P.M. Marshall County, Iowa, except beginning 495 feet East of the Northwest corner, then East 231 feet, thence South 350 feet, thence West 85 feet, thence Southeast 170.9 feet, thence North 438.8 feet to the point of beginning, and except the South 50 feet of East 7 acres of the West 22 acres of said section. 1406 E. Main Street

3. Nature of Special Use allowed: Junkyard

4. Protective restrictions: Issued for a period of 18 months and is issued subject to compliance with the April 20, 1981 and June 6, 1980 recommendations of the Planning Commission, with the further restriction that the junkyard shall not extend further south than 250 feet north of the center of East Main Street.

Those to whom this Special Use Permit is granted shall comply with all ordinances and statutes, either federal or state, which shall include but not be limited to those relative to fire protection, electrical installation, signs on the premises, and sanitation.

This Special Use Permit does not run with the land, and therefore, purchasers, lessees, or others using the above-described property shall not have any rights or powers under this Special Use Permit without further action of the Board of Adjustment.

Furthermore, those to whom this Special Use Permit is issued shall not extend or further alter the use of the property described above beyond the plans filed with the Board of Adjustment is obtained.

Signed on June 2, 1981.



# City of Marshalltown

P.O. BOX 757 / MARSHALLTOWN, IOWA 50158 / PHONE 515-754-5701

MAYOR: HOWARD STEGMANN

April 20, 1981

Mayor and City Council  
City Hall  
Marshalltown, Iowa 50158

Ladies and Gentlemen:

The Marshalltown Planning & Zoning Commission met on April 16, 1981 and were briefed on the decision rendered by the District Court in suit filed by Mr. Lyle Hogeland against the City of Marshalltown. The suit revolved around the validity of Ordinance #13081 or commonly known as the "Rosemary Ordinance". Essentially, the ordinance deals with the Council providing approval or denial for certain new or change of uses in commercial and industrial zones where there is a residence or residential zone within 300 feet.

In the instance of the suit filed by Mr. Hogeland, the Court ruled that it is not within the jurisdiction of the City Council but rather the Board of Adjustment to make their determination. I would urge the Council to address Mr. Lovig of the ramification of this decision.

The Planning & Zoning Commission would recommend to the Council the repeal of Ordinance #13081. The Commission wants to review the various instances when the ordinance was in effect to determine its effectiveness and to recommend to the Council any changes necessary to the zoning ordinance that would provide similar yet equitable protection.

Sincerely yours,

Rick Cluff, Director  
Community Development Department



# City of Marshalltown

P.O. BOX 757 / MARSHALLTOWN, IOWA 50158 / PHONE 515-754-5701

MAYOR: HOWARD STEGMANN

June 6, 1980

Mayor Howard Stegmann  
Members of the City Council

Re: Lyle Hogeland's application for Change of Use Permit for 1406 East Main Street.

Ladies and Gentlemen:

The Marshalltown Plan-Zoning Commission met Thursday, June 5, 1980, at 12:00 o'clock noon in the Forum Room of the Tallcorn Hotel and again reviewed and discussed the application of Lyle Hogeland for a Change of Use permit under Article III, Section 6, Marshalltown Zoning Ordinance, for the area locally known as 1406 East Main Street.

Mr. Bryan Rutherford, attorney representing Mr. and Mrs. John LeGrand; Mr. Kenny Hesmer and Mr. and Mrs. Boyd Church were in attendance and expressed their concerns regarding this Change of Use request.

After considerable discussion and review of the amended application as submitted by Mr. Hogeland, dated June 2, 1980, it was the consensus of the Plan-Zoning Commission that they recommend to the City Council the approval of the Change of Use for the rear portion of the lot locally known as 1406 East Main Street with the following recommendations.

That a chain link fence be constructed across the proposed south end of the lot which would be a minimum of 16 feet north of the north line of the residence on 1406 and 1408 East Main Street. This chain link fence be connected to a chain link fence which would then run north along the west side of the property to a point approximately 200 feet north of the property line and connect to the solid fence which runs east and west across 1406 E. Main Street.

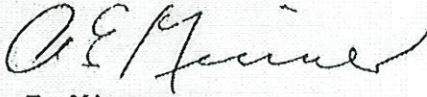
It was suggested the chain link fence be constructed for the purpose of separating the commercial uses from residential purposes and thereby make the residence at 1406-1408 E. Main Street appear as residential properties, the same as the other residential properties to the west.

It was also recommended that no cars from the commercial operations be parked south or in front of this chain link fence.

Mayor Howard Stegmann  
Members of the City Council  
June 6, 1980  
Page Two

With the above recommendation to separate the commercial functions from the residence on the front of the property and to maintain residential appearance from the street, it was the recommendation of the Plan-Zoning Commission that the City Council, with these stipulations, proceed to issue the Change of Use permit for Mr. Hogeland.

Respectfully submitted,



A. E. Minner  
City Clerk

AEM:hlc



# City of Marshalltown

P.O. BOX 757 / MARSHALLTOWN, IOWA 50158 / PHONE 515-754-5701

MAYOR: HOWARD STEGMANN

April 28, 1980  
(Dictated April 25th)

John Jacobs  
Building Official  
Marshalltown, Iowa 50158

Re: Lyle Hogeland Change of Use request, 1406 East Main Street.

Dear John:

I'm sure you are aware of the numerous Plan-Zoning Commission meetings which have taken place on the application of Lyle Hogeland to expand his junk or salvage business from its present 1408 East Main Street into the rear of 1406 East Main Street.

The Plan-Zoning Commission, at our April 24th meeting, directed the Clerk to ask you to make an inspection of the buildings on 1406-1408 East Main Street and report as to whether or not they comply with the code and what would have to be done to bring them up to code standards.

If you have any further questions, please feel free to contact the writer.

Respectfully submitted,

A. E. Minner  
City Clerk

AEM:hlc



# City of Marshalltown

P.O. BOX 757 / MARSHALLTOWN, IOWA 50158 / PHONE 515-754-5701

MAYOR: HOWARD STEGMANN

May 1, 1980

Charles Lander, Chairman  
Members of the Plan-Zoning Commission

Re: Buildings located at 1406 and 1408 E. Main Street

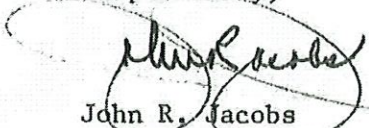
Mrs. Schrader and Gentlemen:

On April 28, 1980 I received a letter from City Clerk A. E. Minner requesting me to inspect the above buildings. On April 30th I made an on-site inspection and the report is as follows:

The type of material used in the construction of the buildings is allowable in the M-2, Fire Zone 3 District. The maintenance of the buildings might be of some question. There is one small building on the east part of the lot that appears to be beyond repair and possibly should be removed. The rest of the buildings are older buildings that have been there for a number of years and are typical of many others within the city.

I did not make a building by building inspection to determine code violations of today's building code because this office has no jurisdiction in making older existing buildings comply with today's building code.

Respectfully,

  
John R. Jacobs  
Building Official

BOARD OF ADJUSTMENT  
May 19, 1981

The Marshalltown Board of Adjustment met on Tuesday, May 19, 1981, at 5:00 o'clock P.M. in the Council Chambers at City Hall.

Chairman Weaver called the meeting to order at 5:01 P.M.

ROLL CALL: Present - Jackson, Morrison, Vajgrt, Weaver.  
Absent - Niehouse.

Also present were Ed Bartine, Assistant City Attorney; Rick Cluff, Community Development Director; Lyle Hogeland; Lorenz Fett; and George Hinshaw.

Motion to approve the minutes of May 5, 1981 was made by Jackson, seconded by Weaver. Ayes - Jackson, Morrison, Vajgrt, Weaver. Nays - None. Absent - Niehouse. Motion carried.

The Clerk advised the Board members that the Times Republican, KFJB, KDAO, and KCCI had been notified of the meeting to be held at 5:00 P.M. today.

As this was the night for the public hearing on granting a Special Use Permit for Lyle Hogeland for operating a junk yard at 1406 E. Main Street, Chairman Weaver asked the Clerk whether there were any written or oral objections that had been received, with the answer being none.

Chairman Weaver then asked if there was anyone present who was to speak for Mr. Hogeland. Lorenz Fett, attorney at law, spoke before the Board of Adjustment. Mr. Fett noted that the Plan-Zoning Commission had unanimously recommended at their April 16, 1981 meeting that a Special Use Permit be granted and that previously there was a Change of Use Permit system that was invalidated by the courts. He also stated that a law suit by a neighbor, Mr. LeGrand, who owns a hog selling and buying business had been dismissed with prejudice by the court, that the litigation is now over and that his appeal has lapsed and so has the litigation with the City. This is the starting point for issuing a Special Use Permit. Mr. Fett noted that this area is zoned M-2 which is a heavy industrial district and therefore it is earmarked by the City for industrial and commercial development. This is the only district that permits commercial and industrial development and the only area where a salvage yard is permitted.

Mr. Fett relayed his opinion that Mr. Hogeland's operation is a good one, a credit to the community, and that they are not opposed to reasonable regulations, that requests had been complied with, that the fence has been installed and that the salvage operation has been separated from the commercial used car lot.

Mr. Fett explained that there has been ongoing litigation, that the salvage yard does serve a useful function and that it was filled at 1408, and therefore Mr. Hogeland bought the property at 1406 to expand and to provide proper fire lanes. He has used that property for the last year and the premises have been orderly. He is asking the Board to approve the Special Use Permit subject to the same restrictions as Planning & Zoning recommended.

At the request of Chairman Weaver, Rick Cluff read into the record the letter of June 6, 1980.

"Mayor Howard Stegmann, Members of the City Council. Re: Lyle Hogeland's application for Change of Use Permit for 1406 East Main Street. Ladies and Gentlemen: The Marshalltown Plan-Zoning Commission met Thursday, June 5, 1980, at 12:00 o'clock noon

in the Forum Room of the Tallcorn Hotel and again reviewed and discussed the application of Lyle Hogeland for a Change of Use permit under Article III, Section 6, Marshalltown Zoning Ordinance, for the area locally known as 1406 East Main Street.

Mr. Bryan Rutherford, attorney representing Mr. and Mrs. John LeGrand, Mr. Kenny Hesmer and Mr. and Mrs. Boyd Church were in attendance and expressed their concerns regarding this Change of Use request.

After considerable discussion and review of the amended application as submitted by Mr. Hogeland, dated June 2, 1980, it was the consensus of the Plan-Zoning Commission that they recommend to the City Council the approval of the Change of Use for the rear portion of the lot locally known as 1406 East Main Street with the following recommendations.

That a chain link fence be constructed across the proposed south end of the lot which would be a minimum of 16 feet north of the north line of the residence on 1406 and 1408 East Main Street. This chain link fence be connected to a chain link fence which would then run north along the west side of the property to a point approximately 200 feet north of the property line and connect to the solid fence which runs east and west across 1406 E. Main Street.

It was suggested the chain link fence be constructed for the purpose of separating the commercial uses from residential purposes and thereby make the residence at 1406-1408 E. Main Street appear as residential properties, the same as the other residential properties to the west.

It was also recommended that no cars from the commercial operations be parked south or in front of this chain link fence.

With the above recommendation to separate the commercial functions from the residence on the front of the property and to maintain residential appearance from the street, it was the recommendation of the Plan-Zoning Commission that the City Council, with these stipulations, proceed to issue the Change of Use permit for Mr. Hogeland. Respectfully submitted, /s/ A. E. Minner, City Clerk."

Mr. Fett noted that the chain link fence was erected as requested.

Chairman Weaver asked had the residential appearance been maintained as was requested, with Rick Cluff stating that the objective of that recommendation was to set back the commercial use.

Mrs. Jackson noted that the cars are already on the property, though Planning & Zoning had already given permission, isn't that up to the Board of Adjustment, and what is the purpose of their meeting if the cars are already on location?

Mr. Fett explained that originally he was before the Plan-Zoning Commission who gave a Change of Use permit but that it wasn't valid. After litigation the City said that a Special Use permit would be required. The Change of Use was under the old "Rosemary Ordinance" that was ruled invalid and now is being repealed by the Council.

Mr. Fett noted that the junk yard was initiated without the Board of Adjustment approval.

Mrs. Jackson explained that that is what bothered her.

Mr. Fett explained that Lyle Hogeland had expended a considerable amount of money in improving the area, with Mrs. Jackson stating that if Mr. Hogeland could expand his operation without approval couldn't anyone else do that.

Mr. Fett explained that the matter was in litigation and it was only after the Plan-Zoning Commission gave approval that it was installed.

Chairman Weaver noted the Plan-Zoning Commission only is able to give a recommendation and that no change of use or special use permit was ever granted.

Mr. Hinshaw stated that after considerable discussion with the City Attorney and the Assistant City Attorney, even though they did not think it was necessary to go before the Board of Adjustment, they had decided to go before the Board of Adjustment at the Assistant and the City Attorney's recommendation and that after "Rosemary's Ordinance" was ruled invalid all that would be required was a junk yard permit.

Mrs. Jackson noted that the first property had been approved, not the second property.

Mr. Hinshaw explained that after "Rosemary's Ordinance" was ruled invalid only the junk yard ordinance was in effect for that area.

Chairman Weaver asked Mr. Bartine if that was true and he answered that that was true, but with Council approval. Chairman Weaver asked was it true that the Court ruling gave the authority to the Board of Adjustment, with Mr. Hinshaw stating that it only ruled that the Council was not able to decide.

Mrs. Jackson asked, "What is 'Rosemary's Ordinance'?" Chairman Weaver explained that it was initiated by Rosemary Johnson as a result of the building of the Fox Lounge, that she wanted to prohibit a commercial enterprise from building 300 feet from a residence regardless of the zoning. The ordinance then became applicable to all areas and required a Change of Use Permit if an area was established within 300 feet.

Chairman Weaver asked, "Then is the M-2 Zoning Ordinance the governing ordinance?" Mr. Bartine explained that that was true but that it required that matter to go to the City Council.

Mr. Fett noted that there is no ordinance at this moment as a substitute ordinance has not been passed by the Council.

Chairman Weaver noted that you are here today to ask for approval for something that you have already initiated. This puts the Board of Adjustment in a very difficult position. If we don't act it still will be located there.

Chairman Weaver asked Mr. Bartine if the ruling by the State Supreme Court that gives this type of power to the Board of Adjustment, is this what we are operating under, and Mr. Bartine replied in the affirmative. Chairman Weaver noted that if that's the case then they are here to be in compliance with the law rather than as a formality.

Chairman Weaver asked, "Do we have the power to decide or not, and when will the ordinance be changed?"

Mr. Bartine noted that he believed the third reading was before the Council at the next meeting and that you may or may not have the authority.

At this point Chairman Weaver directed Rick Cluff to read the communication from April 20, 1981 from the Plan-Zoning Commission to the Board of Adjustment into the record.

"Board of Adjustment, City Hall, Marshalltown, Ia. 50158, Ladies & Gentlemen: The Marshalltown Planning & Zoning Commission met on April 16, 1981 to review the Special Use Permit request of Lyle Hogeland. Mr. Hogeland's request is for a junkyard at 1406 E. Main Street.

This request had been before the Planning & Zoning Commission previously in order to comply with Ordinance #13081. At the time the Planning & Zoning recommended approval with condition. In this previous review and in accordance with the provision of the ordinance, the approval was within the jurisdiction of the City Council. As a result of a denial by the City Council, the matter resulted in a suit filed by Mr. Hogeland against the City of Marshalltown.

The Court ruled in this instance that Ordinance #13081 was invalid and that the proper jurisdiction for approval was the Board of Adjustment.

After considerable discussion, the Planning & Zoning Commission recommends approval of the Special Use Permit to Mr. Hogeland for the junkyard with the following considerations:

- 1) That the Planning & Zoning Commission's recommendation of June 6, 1980 (see attached) be incorporated into the Permit.
- 2) That the Board of Adjustment consider a time limit for the Special Use Permit. Planning & Zoning stated no specific time limit but felt that it would be in the best interest of the community to review the Permit at a later date.

Sincerely yours, /s/ Rick Cluff, Director, Community Development."

Chairman Weaver noted that he believed that the third paragraph which states: "The Court ruled in this instance that Ordinance #13081 was invalid and that the proper jurisdiction for approval was the Board of Adjustment" is correct. Mr. Fett noted that he did not feel his client was deliberately flaunting the law but that the City in the law suit which they brought against Mr. Hogeland never mentioned that a Special Use Permit would be required, only a Change of Use.

Chairman Weaver asked, "Did Mr. Hogeland convert the property before or after the Court ruling?", with Mr. Hinshaw replying that he had done that before the Court ruling.

Mr. Fett noted the purpose of zoning is to promote an orderly growth and that since this area is zoned M-2 this should be permitted.

Mrs. Jackson asked whether with the new underpass will this be a major artery into the City of Marshalltown.

George Hinshaw noted yes, but there have been major improvements in aesthetics in recent period.

Mrs. Jackson noted that if they say yes to this Special Use Permit request then they will have to say yes to other Special Use Permits on projects that have already been constructed.

Mr. Fett noted that before Lyle Hogeland had bought the property the property was used as a junk yard, maybe even before it was zoned M-2 and that this was a pre-existing use.

Mrs. Jackson asked, "Even on the newly acquired property?"

Mr. Hinshaw explained that it was their feeling that yes, even on the new property, and he felt that they could win the case if it had to go to court.

Rick Cluff noted that the cleaning up that has recently been done might have been as a result of the litigation that has taken place.

At this point Chairman Weaver asked for public comments.

Boyd Church of 1402½ E. Main Street appeared before the Board and noted that he had lived in that neighborhood since he has been fourteen years old and the neighborhood has gone down. That they have been good neighbors with Mr. Hogeland, they have put up with a mess for a number of years and that a lady on the Plan-Zoning Commission has suggested keeping the cars back off of the street so that it could look like a residential area and that now an additional five acres of mess had been allowed, and that he did not care if the cars were located out back but he does care what is located out front. He would like to have the cars limited to the back line of his house. He noted that if the area was cleaned up it would be good for business. He noted that the property at 1406 E. Main Street had never had 50 cars.

Mr. Fett asked Mr. Church whether the property looked better than it had been two years ago and the answer was yes, but it could still look better. Mr. Fett noted that Lyle Hogeland does have a junk yard permit for the property at 1408 E. Main Street. Mr. Fett also noted that junk cars were not allowed in front and that a used car lot which is in the front of the property is permissible with commercial use. He said the junked cars are all out behind the fence.

Mr. Hinshaw noted there are no restrictions on a used car lot.

Mrs. Jackson noted that there should be a serious attempt to try to accommodate the neighbors.

Mr. Hogeland stated that visibility is important in trying to sell automobiles.

Mr. Fett noted they would not agree to move the cars back, that the Board of Adjustment has no authority over a used car lot.

Chairman Weaver noted only that the Plan-Zoning did ask that a residential appearance be maintained.

Rick Cluff mentioned that the Plan-Zoning Commission was not talking about where the used cars were sold when they had stated that.

Mr. Morrison noted that even if the Board of Adjustment required him to move his cars back what would stop him from moving them back up within a couple of weeks.

Mr. Church asked that the Board of Adjustment grant him a permit for only six months at a time, therefore it could be periodically checked.

Mr. Hinshaw noted that he did not feel the cars did stick out that far.

Chairman Weaver noted the recommendation from the Plan-Zoning Commission included a time limit and that if the time limit was imposed it would give neighbors a chance to work out any disagreements they might have and if they can't be worked out then they could come before the Board of Adjustment when the permit does expire.

Chairman Weaver also noted that there appeared to be no jurisdiction over the front 250 feet of the property and that no one can make him move his cars back.

Mr. Morrison noted that the set back law does not exist in an area that is zoned M-2.

Chairman Weaver noted that all five members of the Board of Adjustment are not present and since it takes three members to pass a Special Use Permit he offered Mr. Hogeland the opportunity to have a continuance on his hearing for when all five members would be present.

Mr. Fett noted that they will not ask for a continuance for the same reason they hope that the Special Use Permit would be granted for a period longer than six months, that they did not wish to have to be constantly in litigation over this matter.

Chairman Weaver asked what was the feeling of the Plan-Zoning Commission, how long of a time limit were they talking about and Mr. Hinshaw replied that a majority of Commission members wanted a period of approximately five to seven years but that Mr. Hildebrandt had wanted the smallest amount of time possible, possibly six months.

Rick Cluff reported that the Plan-Zoning Commission was talking about a period from six months to five years. Mr. Cluff also noted that since Main Street will be torn up for approximately six months he suggested that a time period of eighteen months be allowed so that the property could be reviewed after the street work is completed.

Mr. Morrison noted that the Special Use Permit could be granted for a year and a half at this time and then the next time one could be granted for five years. This has been done in the past.

Chairman Weaver agreed to an eighteen month time period and then to review it and possibly grant it for a longer period of time at that point or denied. Chairman Weaver asked if the motion said not closer than 250 feet south from the Main Street line would that be in agreement with the Plan-Zoning Commission recommendation, with Mr. Bartine saying yes.

Mr Hinshaw noted that the Board of Adjustment has no jurisdiction over that 250 feet as long as there are no junkers on the property.

Chairman Weaver noted that if they denied the permit the car lot would be all right out front but that the junkers would not be allowed out back, with Mr. Bartine stating yes.

A motion was made by Chairman Weaver to grant a Special Use Permit for a junk yard for Lyle Hogeland at 1406 E. Main Street for a period of 18 months in accordance with the recommendation of the Plan-Zoning Commission of April 20, 1981 and June 6, 1980, and that the junk yard not extend any further south than 250 feet from Main Street. This was seconded by Mr. Morrison. ROLL CALL: Ayes - Morrison, Vajgrt, Weaver. Nays - Jackson. Motion carried. The Special Use Permit was granted for a period of 18 months.

As there was no further business before the Board of Adjustment, motion was made by Mrs. Jackson to adjourn the meeting, seconded by Chairman Weaver. All aye. Motion carried. Meeting adjourned at 6:08 P.M.

Respectfully submitted,

William Schneider  
City Clerk

Copies to: All Board members  
✓Rick Cluff  
Ed Bartine  
Lyle Hogeland  
Boyd Church  
Lorenz Fett

IN THE IOWA DISTRICT COURT FOR MARSHALL COUNTY

CITY OF MARSHALLTOWN, IOWA, )  
 )  
 Plaintiff )  
 )  
 vs. )  
 ) Equity No. 34518  
 )  
 LYNN HOGELAND, d/b/a )  
 HOGELAND BODY SHOP AND )  
 SALVAGE YARD, )  
 )  
 Defendant )

NOTICE OF APPEAL

TO: Marshalltown City Clerk and Rick Cluff, Community  
Development Director

YOU AND EACH OF YOU ARE HEREBY NOTIFIED that Applicant,  
Lyle Hogeland, hereby appeals to the Board of Adjustment  
the denial of his application for a special use permit for  
junkyard on the lot located at 1406 East Main Street,  
Marshalltown, Iowa, legally described as:

The East 7 acres of the West 22 acres of  
the Southeast 1/4 of the Southeast 1/4 of  
Section 25, Township 84 North, Range 18  
West of the 5th P.M., Marshall County, Iowa,  
except beginning 495 feet East of the  
Northwest corner, thence East 231 feet,  
thence South 350 feet, thence West 85 feet,  
thence Southeast 170.9 feet, thence North  
438.8 feet to the point of beginning, and  
except the South 50 feet of the East 7  
acres of the West 22 acres of said section.

The grounds for this appeal are as follows; however,  
the following statement is intended to be illustrative only  
and not exhaustive of the reasons why a special use permit  
should be granted: the adjoining area at 1408 East Main

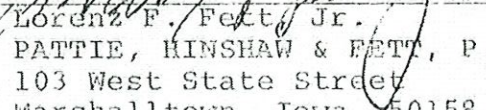
ence as this one is; it emits no offensive odors and rarely any noise; expansion of this business in the H-2 heavy industrial district is in accordance with the comprehensive plan for the City of Marshalltown and will do its part to enhance the local economy.

Attached hereto is the written denial from Rick Cluff, Community Development Director.

Respectfully submitted,

LYLE HOGELAND,  
Special Use Permit Applicant

BY

  
Lorenz F. Felt, Jr.  
PATTIE, HINSHAW & FETT, P. C.  
103 West State Street  
Marshalltown, Iowa 50158  
Phone: (515) 753-6659

Attorneys for Lyle Hogeland.

City Of Marshalltown

April 7, 1981

Dear Sir:

Your application for a special use permit for a \_\_\_\_\_  
\_\_\_\_\_junkyard\_\_\_\_\_ on your lot located at 1406 E. Main St.,  
Marshalltown, Iowa has been denied by this office because it does not comply  
with the following sections of the Zoning Ordinance of 1957.

Article XIV Section 2 Paragraph \_\_\_\_\_  
Sub-paragraph \_\_\_\_\_ Legal Discription \_\_\_\_\_  
\_\_\_\_\_

If you wish to appeal this rejection to the Board Of Adjustment, your next  
step is to file with the City Clerk this letter of rejection, your letter  
setting forth your reason for the appeal, the plot plan rejected, and the  
required fifteen (\$15) dollar fee.

Sincerely,

\_\_\_\_\_  
Rick Gluff  
Community Development Director

IN THE IOWA DISTRICT COURT FOR MARSHALL COUNTY

CITY OF MARSHALLTOWN, IOWA, )  
 )  
 Plaintiff, )  
 )  
 VS. )  
 )  
 LYLE HOGELAND, d/b/a )  
 HOGELAND BODY SHOP AND )  
 SALVAGE YARD, )  
 )  
 Defendant. )

Equity No. \_\_\_\_\_

*Carl Me.*  
*Pat*

PETITION FOR TEMPORARY AND PERMANENT INJUNCTION

COMES NOW the Petitioner and states to the Court as follows:

1. That Plaintiff, City of Marshalltown, Iowa, is a corporate entity, duly organized in the State of Iowa and operating in Marshall County.

2. That Defendant resides in Marshall County, Iowa.

3. Defendant owns and operates an automobile junk yard at 1408 East Main Street, within the boundaries of the City of Marshalltown and located in an M-2 Heavy Industrialized District and the subject to the requirements of City of Marshalltown Ordinance 13081, an Ordinance amending the zoning ordinance of 1957 as subsequently amended.

4. Defendant owns the adjoining property at 1406 East Main Street, within the boundaries of the City of Marshalltown and legally described as follows:

The East 7 acres of the West 22 acres of the Southeast Quarter of the Southeast Quarter of Section 25, Township 84 North, Range 18 West of the 5th P.M., Marshall County, Iowa, except beginning 495 feet East of the Northwest corner, thence East 231 feet, South 350 feet, West 85 feet, Southwest 170.9 feet, North 438.8 feet, to the point of beginning, and except the South 50 feet of the East 7 acres of the West 22 acres.

5. Defendant has applied for and has been denied a "change of use" for the property at 1406 East Main Street in order to expand his auto salvage business.

and well-being of the residences located within 300 feet of said lot and constitutes a nuisance and is in violation of City of Marshalltown, Ordinance 13081.

8. The acts taken by the Defendant have injured and will continue to work irreparable injury to the neighboring residences unless the Defendant is restrained from continuing the operation of the junk yard upon the premises at 1406 East Main.

WHEREFORE, Petitioner prays for a temporary and permanent injunction restraining the Defendant from maintaining a junk yard at 1406 East Main Street, for an immediate hearing on the temporary injunction and a hearing set at a later date on the permanent injunction, for such other relief as may be equitable, and that he may have judgment against Defendant for the costs.

CITY OF MARSHALLTOWN, IOWA

By:

Pat W. Brooks, Assistant City Solicitor  
25 North Center Street  
Marshalltown, Iowa 50158

VARIANCE PERMIT

Pursuant to Article XIX of the Marshalltown Zoning Ordinance, a Variance Permit is hereby granted as follows:

1. Name of Applicant: Lyle and Lonnie Hogeland

2. Property Description:

Street Address: 1406 East Main Street

Legal Description: E 7 Acres of W 22 Acres, SE 1/4 SE 1/4  
Except beginning 495' E of N.W. corner, then E 231'

S 350' W 85' SW 174.9' N 438' to beginning and except

S 50' of E 7 Acres of W 22 Acres Sec. 85, Twp 84, Range 18

3. Nature of Variance allowed: \_\_\_\_\_

Placement of new Single-Family home in M-2 district.

4. Protective restrictions: Current house on 1406 East Main

Street to be removed and replaced with manufactured home

at least 20' wide or typical Single-Family home on frost

proof foundation and appropriate roof and siding/exterior

wall covering.

Those to whom this Variance Permit is granted shall comply with all ordinances and statutes, whether federal, state, or local which shall include but not be limited to those relative to fire protection, electrical installation, signs on the premises, and sanitation.

Furthermore, those to whom this Variance Permit is issued shall not extend or further alter the property described above beyond the plans filed with the Board of Adjustment unless additional permission from the Board of Adjustment is obtained.

*Pattie, Hinshaw & Fett, P. C.*  
*Attorneys at Law*

*103 West State Street*

*P.O. Box 556*

*Marshalltown, Iowa 50158*

*515-753-6659 and 515-753-6650*

*August 18, 1982*

*State Center Office  
Old Bank Building*

*515-683-2768*

*George W. Hinshaw*

*Lorenz F. Fett, Jr.*

*J. W. Pattie — Of Counsel*

*E. E. Bachman (1898-1955)*

Mr. Rick Cluff  
City Hall  
24 North Center Street  
Marshalltown, IA 50158

Dear Rick:

Would you be so kind as to advise when the Plan-Zoning Commission and the Board of Adjustment will be considering Lyle Hogeland's special use permit renewal.

Thank you very much.

Very truly yours,

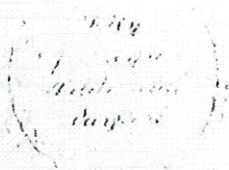
PATTIE, HINSHAW & FETT, P. C.

BY

  
LORENZ F. FETT, JR.

LFF:ls

cc: Mr. Lyle Hogeland



# City of Marshalltown

P.O. BOX 757 / MARSHALLTOWN, IOWA 50158 / PHONE 515-754-5701

MAYOR: HOWARD STEGMANN

August 20, 1982

Mr. Lorenz Fett, Jr.  
Pattie Hinshaw & Fett P.C.  
103 West State Street  
Marshalltown, Iowa 50158

Dear Mr. Fett:

I would suggest you begin the process of renewing Mr. Hogeland's special use permit for a junk yard at your earliest convenience.

Please submit a letter requesting a hearing regarding this project, including the legal description and a \$15.00 filing fee. Upon receipt we will schedule your hearing with the Board of Adjustment following the required 15 day notice.

If you have any questions, please do not hesitate to contact me.

Sincerely,

Rick Cluff, Director  
Community Development Department

RC:hc

City Of Marshalltown

[Signature], 19 Leavitt

Dear Sir: Cytc Hogeland  
1408 E Main St.  
Marshalltown Ia 50158  
752-0027

*Continuation of your*  
Your application for a special use permit for a Junk yard  
on your lot located at 1408 E Main,

Marshalltown, Iowa has ~~been~~ <sup>*must be renewed prior to Oct*</sup> denied by this office because it does not comply with the following sections of the Zoning Ordinance of 1957.

Article \_\_\_\_\_ Section \_\_\_\_\_ Paragraph \_\_\_\_\_  
Sub-paragraph \_\_\_\_\_ Legal Description See below

If you wish to appeal this rejection to the Board Of Adjustment, your next step is to file with the City Clerk this letter of rejection, your letter setting forth your reason for the appeal, the plot plan rejected, and the required fifteen (\$15) dollar fee.

Sincerely,

\_\_\_\_\_  
Rick Gluff  
Community Development Director

TO: THE MARSHALLTOWN, IOWA CITY COUNCIL  
THE MARSHALLTOWN PLAN AND ZONING COMMISSION

LADIES AND GENTLEMEN:

This office has received application for a

- (1) A new use being AUTO SALVAGE & USED CAR LOT
- (2) A change of use from \_\_\_\_\_

to \_\_\_\_\_  
said application having been submitted by Lyle Hogeland for a site located at 1406 E. MAIN ST., Marshalltown, Iowa, presently zoned as M 2.

That pursuant to Section 6 of Article VI it is required that the proposal be reviewed by the Plan and Zoning Commission and approved by the City Council.

Dated at Marshalltown, Iowa this \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_\_.

Respectfully submitted,

\_\_\_\_\_  
JOHN JACOBS  
Building Official

PLAN AND ZONING COMMISSION ACTION

The above and foregoing application came on before the Plan and Zoning Commission at a regular (special) meeting held on the \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_\_. The commission, being legally constituted and after hearing all the arguments, having thoroughly explored the situation and being fully advised makes the following recommendations to the City Council.

That the application be (denied) (approved) for the following reasons:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CITY COUNCIL ACTION

The above and foregoing application came on before the City \_\_\_\_\_

TO: THE MARSHALLTOWN, IOWA CITY COUNCIL  
THE MARSHALLTOWN PLAN AND ZONING COMMISSION

LADIES AND GENTLEMEN:

This office has received application for a

- (1) A new use being Auto Salvage & Used CAR Lot
- (2) A change of use from \_\_\_\_\_  
to \_\_\_\_\_

said application having been submitted by Lyle Hogeland for a site located at 1406 E. Main St, Marshalltown, Iowa, presently zoned as M 2.

That pursuant to Section 6 of Article VI it is required that the proposal be reviewed by the Plan and Zoning Commission and approved by the City Council.

Dated at Marshalltown, Iowa this \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_.

Respectfully submitted,

\_\_\_\_\_  
JOHN JACOBS  
Building Official

PLAN AND ZONING COMMISSION ACTION

The above and foregoing application came on before the Plan and Zoning Commission at a regular (special) meeting held on the \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_. The commission, being legally constituted and after hearing all the arguments, having thoroughly explored the situation and being fully advised makes the following recommendations to the City Council.

That the application be (denied) (approved) for the following reasons:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CITY COUNCIL ACTION

The above and foregoing application came on before the City Council of Marshalltown, Iowa.

*Pattie, Hinshaw & Fett, P. C.*

*Attorneys at Law*

*103 West State Street  
Marshalltown, Iowa 50158  
515-753-6659 and 515-753-6650*

*George W. Hinshaw  
Lorenz F. Fett, Jr.*

April 13, 1981

*State Center Office  
Old Bank Building  
515-483-2768*

*J. W. Pattie — Of Counsel  
E. C. Bachman (1893-1955)*

Mr. Rick Cluff  
Community Development Director  
P.O. Box 757  
Marshalltown, Iowa 50158

IN RE:                   Application for Special Use Permit  
                              for Auto Salvage Yard, Lyle Hogeland,  
                              1406 East Main Street  
                              Marshalltown, Iowa 50158

Dear Mr. Cluff:

Enclosed herewith please find the April 1980 plat drawing for the subject property. You should note that the "woven and barbed wire fences" on the northern ends of the property are now sheet metal screening fences, approximately 7 feet high.

Very truly yours,

PATTIE, HINSHAW & FETT, P. C.

by



LORENZ F. FETT, JR.

LFF:brk  
Enclosure  
cc: Marshalltown City Clerk

*Pattie, Hinshaw & Fett, P. C.*

*Attorneys at Law*

*103 West State Street  
Marshalltown, Iowa 50158  
515-753-6659 and 515-753-6650*

*George W. Hinshaw  
Lorenz F. Fett, Jr.*

*J. W. Pattie — Of Counsel  
E. E. Bachman (1898-1955)*

April 6, 1981

*State Center Office  
Old Bank Building  
515-483-2768*

Mr. William Schneider  
Marshalltown City Clerk  
P.O. Box 757  
Marshalltown, Iowa 50158

Dear Sir:

Kindly send us an application for special use permit for the operation of a junk yard in an M-2 heavy industrialized district, on behalf of Lyle Hogeland, 1406 East Main Street, Marshalltown, Iowa.

Very truly yours,

PATTIE, HINSHAW & FETT, P. C.

by

  
LORENZ F. FETT, JR.

LFF:brk  
cc: Mr. Pat Brooks

Iowa, Tuesday, February 12, 1980

# Council Hears Letter About Hogeland Plans

A letter from the attorney for Lyle Hogeland, who wants a change of use for expansion of a junk car area near a residence at 1406 E. Main St., generated some discussion Monday night at the Marshalltown City Council meeting with the council making no decision awaiting a recommendation from the Plan-Zoning Commission.

Since the area is presently zoned M2, the letter said it would seem the interests of residential property owners in such areas which existed before the zoning of the area as M2 should be protected. But Attorney George Hinshaw said he didn't believe that in an M2 area the residential property owners' right should prevail over a reasonable usage of the M2 land.

He said the junk cars, which Hogeland wants to put on the land, will be well hidden from view and the used car lot will serve as a buffer zone from the roadway.

The attorney also said Hogeland has taken action to get a license to operate a junk car lot. He also noted that the proposed widening of East Main Street makes the change of use even more important to his client.

## Type Of Fence Questioned

A question arose as to what kind of fence Hogeland plans to construct to the west of the area and when he said "corrugated" concern was expressed this would create a problem for the LeGrand Hog Buying Station nearby. The contention being this would cut off air in the summertime endangering the lives of hogs at the hog buying station. Hogeland said there would be a slim chance of moving his junk yard further east on East Main Street near the river because of the problem of theft.

Councilman Stan Cordes tried to make a motion to end the discussion until a recommendation by the Plan-Zoning Commission with the motion not allowed by Mayor Howard Stegmann. The mayor said the matter had to be discussed sometime.

Councilman Cordes said the council had denied a permit for Skatetown to expand to the north and now it appeared there was a similar situation with a junk yard moving closer west to a residential

## Plan Zoners Finally Give Hogeland OK

A matter, which came before the Marshalltown Plan-Zoning Commission last September, was given a final vote Thursday noon when this body met at the Tallcorn Towers.

The commission voted 4-0 to recommend to the Marshalltown City Council approval of a change of use permit for Lyle Hogeland at 1406 E. Main St., for a used car/junk yard. The recommendation will carry certain requirements, mainly that the junk yard be behind a fenced-in portion which would be a chain-linked fence behind houses presently on the lot. Also, all vehicles are to be kept behind the chain-linked fence in order to preserve the character of the block which has residential properties. The recommendation will stress that no vehicles of any kind can be placed south of this fence.

## Denial First Recommended

It took the commission nearly an hour before reaching the final decision. Prior to the motion to recommend the permit be granted, under certain conditions, Commission Member Roger Hildebrandt, to get a motion on the floor, moved that the commission recommend the change of use be denied due to health and safety elements the change would cause the neighborhood. His motion lost for want of a second and shortly afterwards Hildebrandt left the meeting leaving only four members of the commission to make the final decision: Charles Lander, chairman; Mary Schrader, Don Springer and Marvin Hulsitzer. Steve Kirkham, another member, was absent.

Mrs. Schrader said her concern was the house on the lot. She said if the house is to be used as a residence, then the change of use should not be granted; if not, then the house should be removed. She said, "We agree the person requesting the change of use is a really

## Plan-Zoning Rejects Two Use Changes

Two change of use requests were turned down by the Marshalltown Plan-Zoning Commission Thursday noon with their recommendations now going to the city council for final action.

Turned down was a request from William Albee, Newton, to change an area at the southeast corner of West Southridge Road and South 2nd Street, zoned B6, business, from a vacant lot to a self-service car wash. Also rejected was the request by Lyle Hogeland, 1406 E. Main St., to change an area containing a resident to an auto salvage and used car lot in an M2 industrial zone.

In addition, the commission approved a final plat of a subdivision lying south of the railroad right of way near South 18th Avenue known as the Kroeger and Burgess railroad relocation. Only concern was expressed by the Iowa Electric Light and Power Co., wanting to know the final grade for relocation of lines. Egon Jacobson was told the city engineer would have this information.

Because both change of use requests are within 300 feet of residential areas approval must be given by both the plan-zoning commission and city council.

## Denial Recommended

The denial was recommended on the car wash by Mary Schrader, commission member, and seconded by Roger Hildebrandt, because "it is an inappropriate use for the area."

It was explained by Harlan Carley representing Albee, that two curb cuts would be wanted off West Southridge Road for an entrance to the car wash with the exit on South 2nd Street. TV car wash would have four bays with room for two cars to wait in line before getting to a bay. The structure would set back 30 feet south of the sidewalk.

Objecting to the car wash was Vivian del Sol, 2401 S. 2nd St., across the street to the west. Representing this firm was Attorney Stephen Irvine who contended the car wash would create a public health and safety problem with added traffic, as well as a noise pollution

bors and the city council should be out there every minute to see that he abides by the law. If Hesmer (Kenneth, president of Action Auto Parts) has to abide by the law, then why not Hogeland and the standards adhered to by the junk yard permit when it is issued."

Among objectors present were Mr. and Mrs. John E. LeGrand, LeGrand having John LeGrand Livestock, 1404 E. Main St.; Mr. and Mrs. Boyd Church, 1402½ E. Main St., and Hesmer. The LeGrands were represented by Attorney Bradley Rutherford and representing Hogeland was Attorney George Hinshaw.

#### Letter From Hogeland

Prior to the discussion a letter was read from Hogeland outlining his request for the change of use permit, as well as a letter from Fire Marshal James Hisabeck. Hogeland said there would be a fire lane on both properties with all junk vehicles at the rear, or north, of the existing building with the exception of his personal vehicles, no more than eight vehicles currently being repaired and restored and a display of no more than eight used cars for sale near the south property line.

The fire marshal had recommended double rows of vehicles back to back with a 12 foot wide driveway extending the length of the yard and alternating between rows of the vehicles to allow the fire department access and functional use of the yard.

A concern of all the objectors, as well as the commission members, was who will police the area to see whether Hogeland is in compliance with the permit because of prior conditions of his business.

Lander pointed out although the commission is also concerned about this, the Plan-Zoning Commission has no jurisdiction here; that there is a city ordinance and the ordinance would govern requiring Hogeland to clean up his area.

Due to time, the commission delayed until next week any discussion or action on a request from Ronald J. Hays, 411 S. 9th St., for a change of use on property from vacant land to warehouse. Hays wants to add onto a present warehouse and construct another one.

have the name of owner of the property on it, which this did not, and that other businesses are located north-east they are not offensive as a wash. Carley contended it sounded as if Villa del Sol 'doesn't want a sign across the street.' He said Albu wants is a self-service car wash and did not see any amount of traffic lined up. The car wash would be open from a.m. to 9 p.m., said Carley.

#### Many Callers Object

It was reported by City Clerk A. Milner that he has had numerous calls objecting to the car wash but only one person would give his name. He said explained to the callers it was not zoning change but only a change of use.

It was Hildebrandt who made the motion to deny the change of use Hogeland. Reasons for his motion, said, were because Hogeland has demonstrated he will keep the area neat, clean and orderly; that he will have adequate parking or loading facilities; not demonstrated in good faith requirement to keep used and junk cars on his property, and a resident use in an M2 zone is not desirable on the same lot (Hogeland wants to keep a resident on the lot where the change uses are requested).

Hildebrandt said that Hogeland should be required to remove the residence along with other present structures that are not in compliance with present building standards.

The vote was 4-0 to deny the request with Commission Member Steve Kirkham abstaining from voting.

Before the vote, Attorney Bradley Rutherford, in behalf of his client John LeGrand, recommended the change be denied. LeGrand has a hog buy station next to the Hogeland property.

Rutherford said Hogeland's junk yard started east of the river bridge and kept coming in further and further should not be allowed to be extended farther west. He said a junk yard will a health problem with rodents, especially rats, and will spread like cancer creating a weed problem.

Rutherford said his client's business is well kept and back from the road. He also rents a house on his property at a junk yard nearby will lower the value of the property. He also contended part of cars side by side or on top of each other will stifle air for his client's hog confinement.

Hogeland's attorney, George Hinshaw, argued "junk cars are everywhere and you will not go away so this M2 is the logical zoning for such vehicles



## HOGELAND AUTO PLAZA & SALVAGE

--24 HOUR TOWING--

1408 E. Main Street  
Marshalltown, IA 50158

Office 641-752-0027  
Fax 641-752-0002

Lonnie Hogeland, Sr.  
Cell: 641-750-8854

www.hogelandautoplaza.com



RESTRICTION









Hogeland Auto Plaza  
Since 1948





Hogeland Auto Plaza  
Since 1915



**HOGELAND**  
AUTO PLAZA  
SALES - SERVICE - PARTS  
OFFICE

**HOGELAND**  
Auto Plaza  
732-0027

**HOGELAND**  
AUTO PLAZA  
**BODY SHOP**





























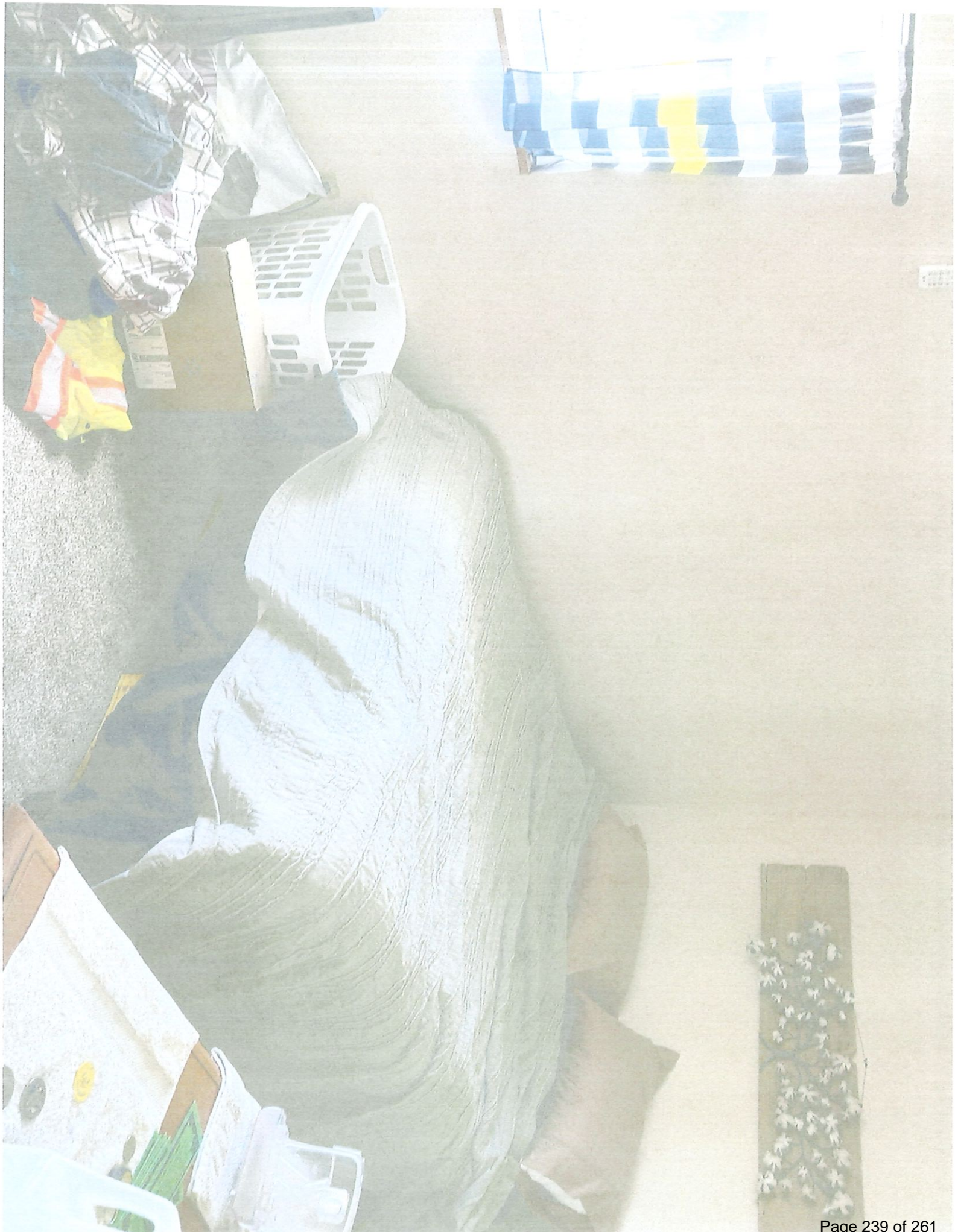
**ESCAPE LADDER**  
**ESCALERA DE ESCAPE**

**2 STORY**  
**13 FOOT**



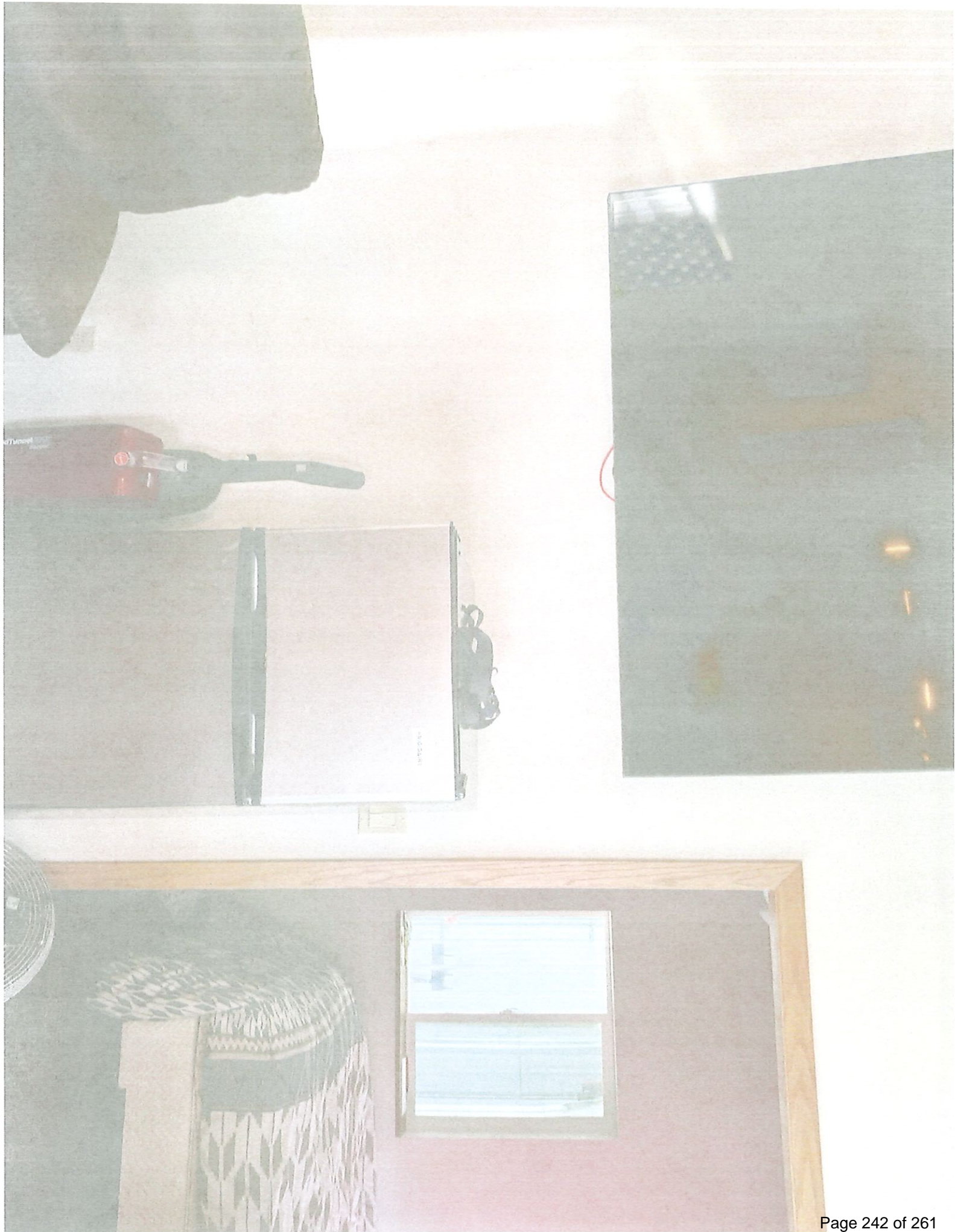
**Strong, Lightweight & Easy To Use!**  
**Fuerte, liviana, fácil de usar!**  
**Advanced Quality in Windows**  
**Avanzado iaplemento a la ventana**  
**Simple Fire Design!**  
**Simple y fácil de usar**

**WARNING!**  
**Do not use as a step ladder.**  
**Do not use as a step ladder.**  
**Do not use as a step ladder.**  
**Do not use as a step ladder.**











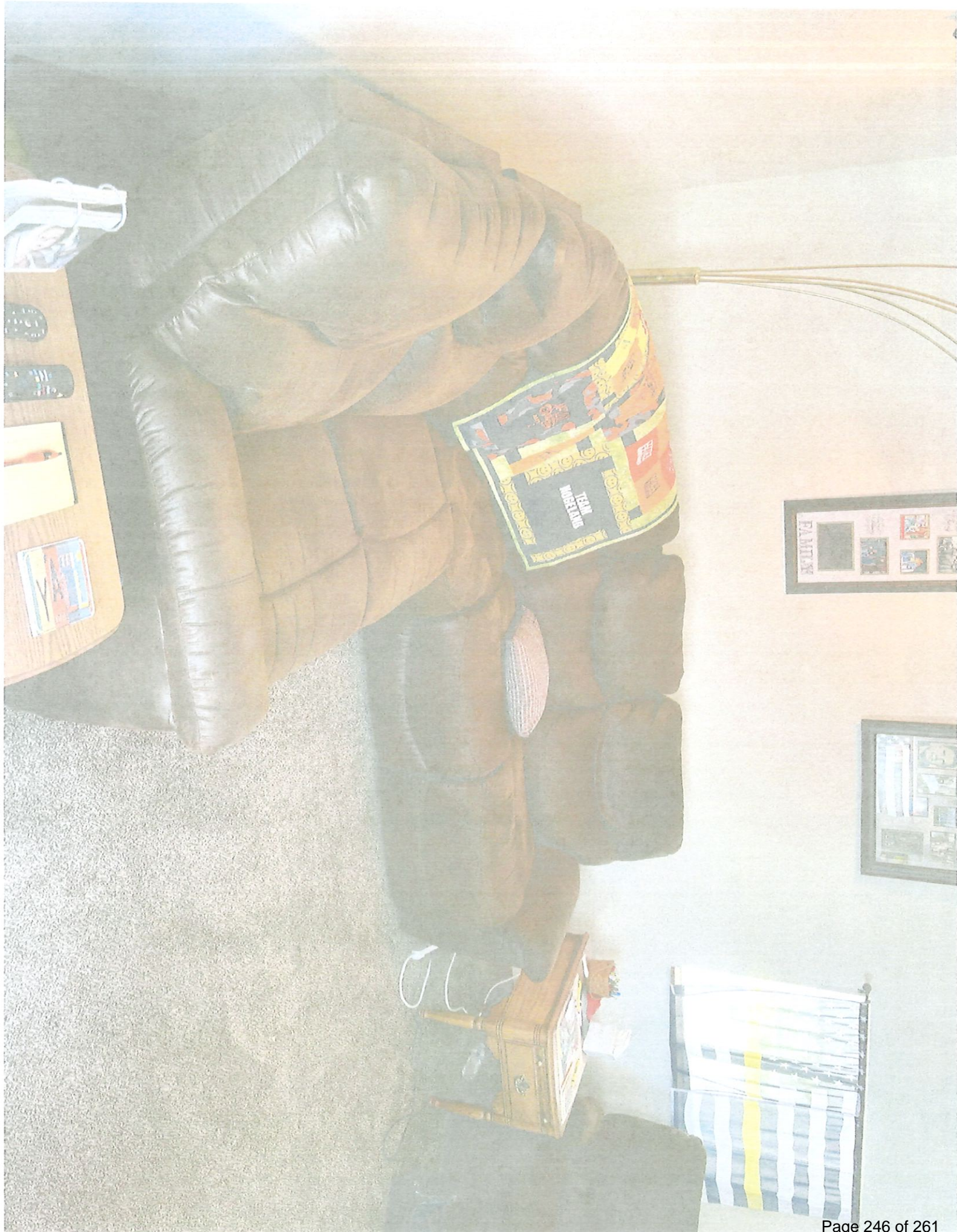


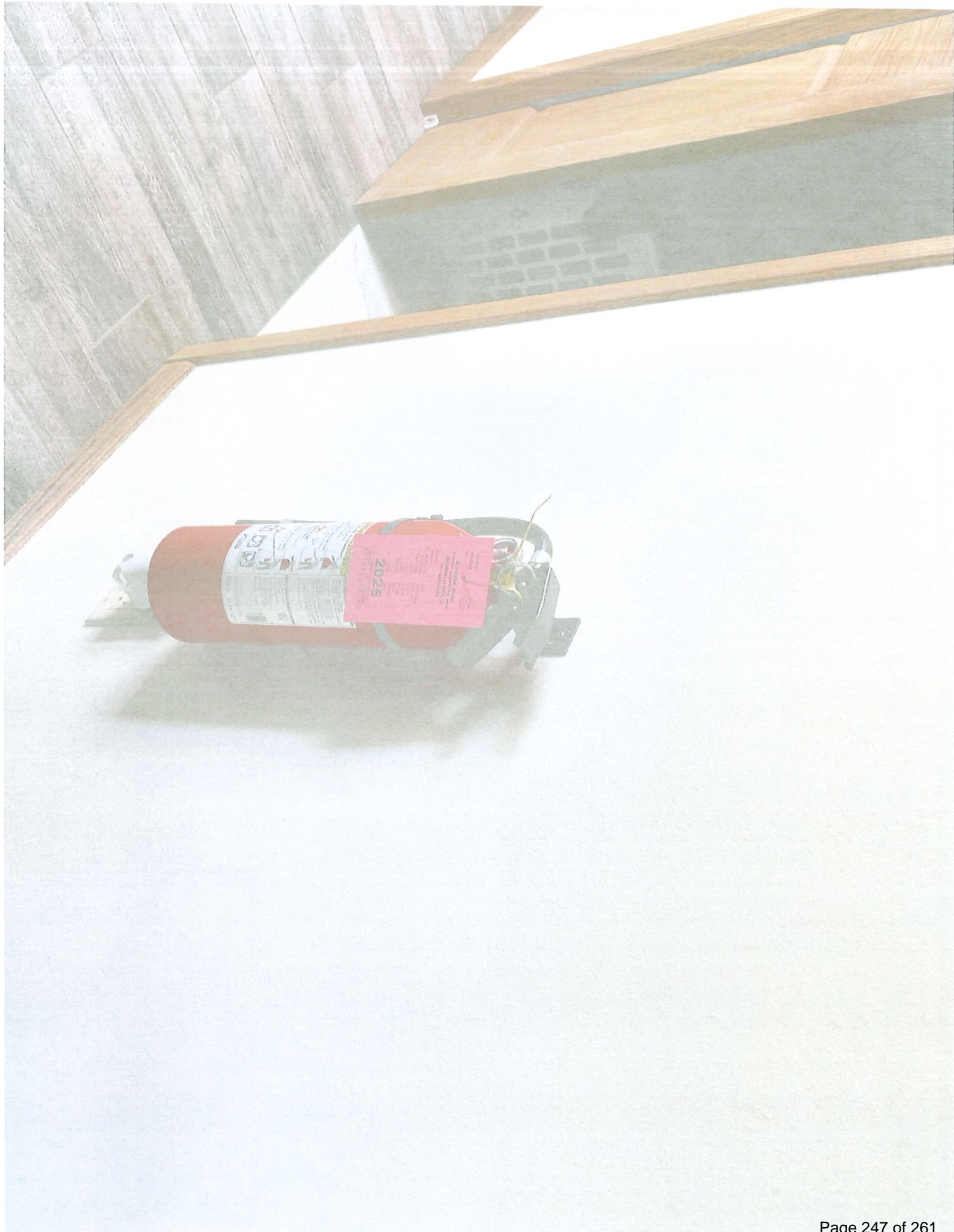
ИТАЯРД АСРЭМА КЭН

-0505-

ПМУРТ









ENTURERS  
MADE OF.



FLORIDA  
MOTOR  
CYCLES  
INC.









**TOWING**  
**BODY SHOP**  
NEW & USED PARTS  
USED CARS & TRUCKS

**HOGELAND**  
752-0027  
**WE PAY CASH FOR CARS**















